

PLANNING COMMITTEE - MONDAY, 27 JULY 2020

UPDATES FOR COMMITTEE

- 5. PRESENTATION ON PLANNING APPLICATION (Pages 3 - 86)**
- 6. COMMITTEE UPDATES (Pages 87 - 90)**

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Planning Committee

27 July 2020

Agenda Item 5

2a 19/10581

Site of Fawley Power Station

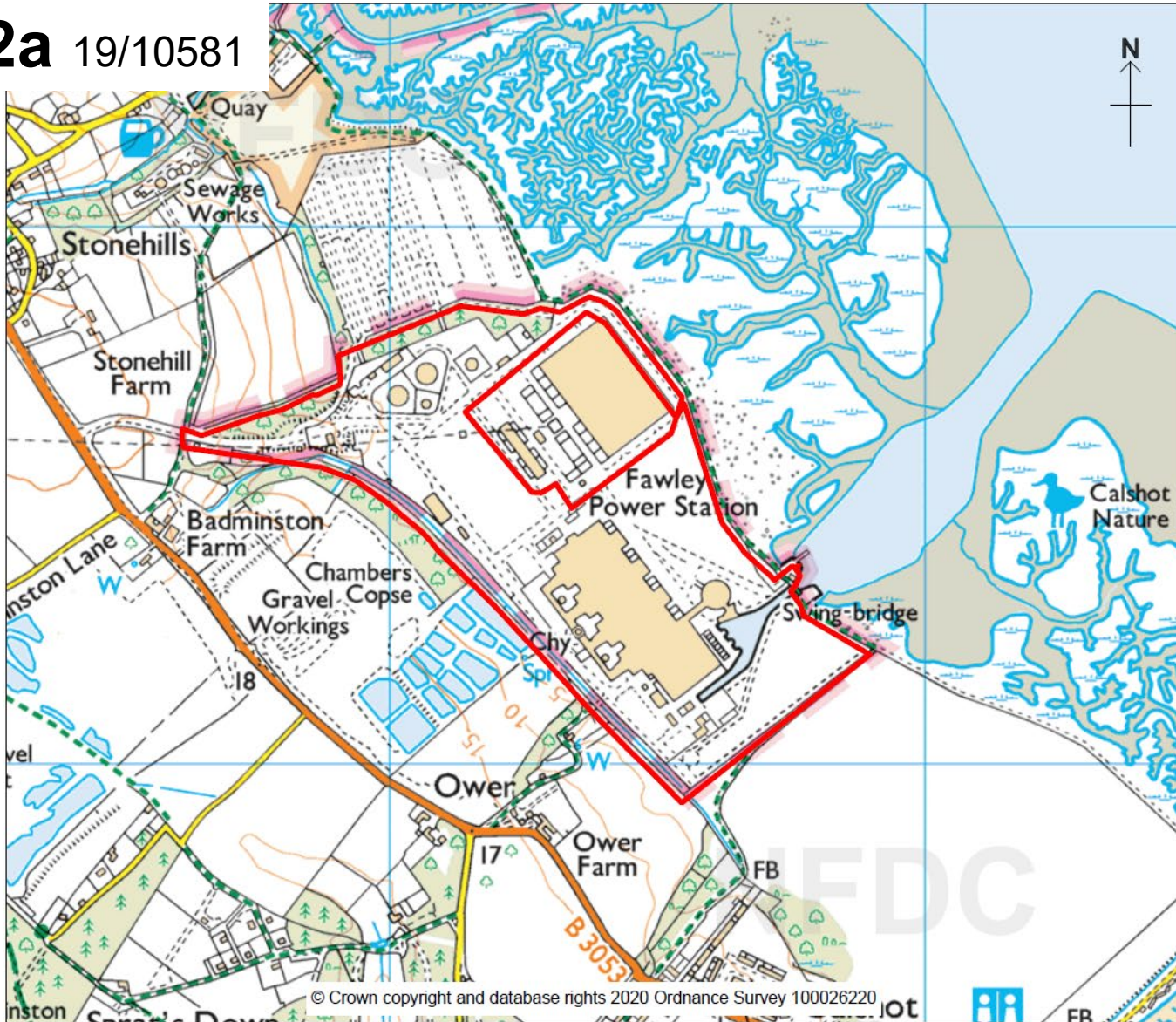
Fawley Road

Fawley SO45 1TW

Schedule 2a

App No 19/10581

2a 19/10581



New Forest
DISTRICT COUNCIL

Tel: 023 8028 5000
www.newforest.gov.uk

Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

PLANNING COMMITTEE

27 July 2020

Site of Fawley Power Station
Fawley Road
Fawley SO45 1TW
19/10581

Scale 1:10000

N.B. If printing this plan from
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scale.

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SO43 7PA

PLANNING COMMITTEE

27 July 2020

Site of Fawley Power Station
Fawley Road
Fawley SO45 1TW
19/10581

Scale 1:10000

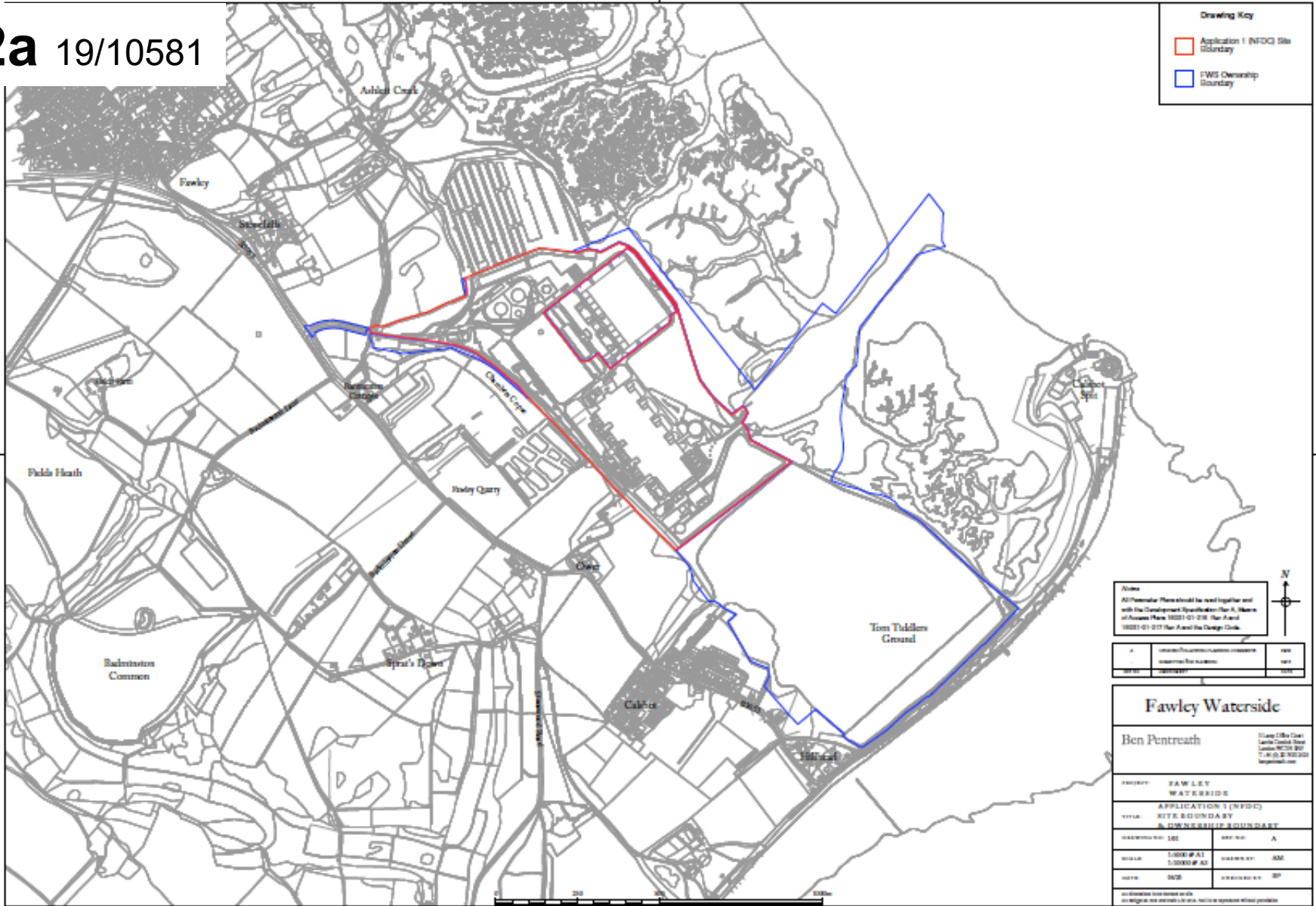
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the internet, it will not be to
scale.



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- Drawing Key**
- Application 1 (NFDG) Site Boundary
 - Area Subject to Application 2
 - Northern Quarter
 - Urban Forest
 - Heart of the Town
 - Canal & Harbour
 - Southern Quayside
 - Southern Quarter
 - Ashlett SANG
 - Fawley SANG
 - Tom Tiddler's SANG
 - Nature Conservation Areas
 - Illustrative Area of Search for Allocations, Informal Open Space & Primary School
 - Indicative Maximum of Lagoon and Creek
 - Illustrative Lagoon and Creek
 - Driveway

Notes
 All Parameter Plans should be read together and with the Development Specifications Part A, Sheets of Schedule Plans 19/001 to 19/018, Part A and 19/001 to 19/017 Part B and the Design Code.

1	19/001 to 19/018 Part A and 19/001 to 19/017 Part B	19/001 to 19/018 Part A and 19/001 to 19/017 Part B
2	19/019 to 19/020 Part A and 19/019 to 19/020 Part B	19/019 to 19/020 Part A and 19/019 to 19/020 Part B

N

Fawley Waterside

Ben Pentreath

11 Camp Hill, Overton
 London SW16 6NR
 T: 020 826 20 20
 ben@pentreath.com

PRIORITY:	FAWLEY WATERSIDE		
TITLE:	APPLICATION 1 (NFDG) INDICATIVE CHARACTER AREAS		
DRAWING NO. 192	REV. NO.	A	
SCALE:	1:1000 @ A1	DRAWN BY:	AM
DATE:	19/01/2019	CHECKED BY:	SP

All dimensions to be double checked.
 All drawings to be checked as per the Design Code.

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**Photograph - TURBINE STORAGE WEST OF
SUBSTATION**

2a 19/10581



Drawing Key

- Application 1 (NFDC) Site Boundary
- Area Subject to Application 2
- Northern Quarter
- Urban Forest
- Heart of the Town
- Canal & Harbour
- Southern Quayside
- Southern Quarter
- Arlott SANG
- Fawley SANG
- Tom Tiddler's SANG
- Nature Conservation Areas
- Illustrative Area of Search for Alternative, Internal Open Space & Primary School
- Illustrative Maximum of Lagoon and Creek
- Illustrative Lagoon and Creek
- Driveway

Notes
 All Parameter Plans should be read together and with the Development Specification Part A, Plans of Access Plans 19/021-01-010, Part A and 19/021-01-017 Part B and the Design Code.

A	INDICATIVE CHARACTER AREAS	DATE

Fawley Waterside

Ben Pentreath

Fawley Office
 South Fawley Road
 Fawley, SO41 2JF
 T: 01703 600000
 www.nf-council.gov.uk

PROJECT: FAWLEY WATERSIDE	
TITLE: APPLICATION 1 (NFDC) INDICATIVE CHARACTER AREAS	
DRAWING NO.: L20	REV. NO.: A
SCALE: 1:5000 @ A3 1:8000 @ A2	DRAWN BY: JSM
DATE: NOV 2019	ISSUED BY: RP

All dimensions to be fixed unless otherwise stated.
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Note
All Parameter Plans should be read together and with the Development Specifications Part A, Menu of Access Plans 19/03/19 01-018, Part A and 19/03/19 01-017 Part A and the Design Code.

1	INDICATIVE CHARACTER AREAS	19/10
2	INDICATIVE CHARACTER AREAS	19/10
3	INDICATIVE CHARACTER AREAS	19/10

Fawley Waterside	
Ben Pentreath	
<small>11 Camp Office Lane London, W12 8PP T: 020 826 1999 www.benpentreath.com</small>	
PROJECT:	FAWLEY WATERSIDE
TITLE:	APPLICATION 1 (NFDC) INDICATIVE CHARACTER AREAS
DRAWING NO. 102	REV NO. A
SCALE: 1:500 @ A2 1:1000 @ A3	DRAWN BY: ADG
DATE: NOV	ISSUED BY: SP
<small>All dimensions in the field are in m. All drawings to be checked in situ. No is to be applied without permission.</small>	

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**Photographs - POWER STATION FROM SOUTH-
WEST CORNER**

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- Drawing Key**
- Application 1 (NFDC) Site Boundary
 - Area Subject to Application 2
 - Data Lines D1
 - Non-Residential Uses A1, A2, A3, A4, B1, D2
 - Residential Use C3
 - Residential or Non-Residential Uses A1, A2, A3, A4, B1, C3, D2
 - Employment Uses B1, D2, D3
 - Hotel C1
 - Boat Quay
 - Narrative Area of Search for Abatement, Internal Open Space & Primary School
 - Early Years Facility
 - Public House A4
 - Single Storey

Notes
 All Parameter Plans should be read together and with the Development Specification for A, Works of Access Plans 18001-01-010, Plan A and 18001-01-011 Plan A and the Design Code.



Fawley Waterside

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 1 Lane / Old Coat South / London Road / London WC1R 0EF
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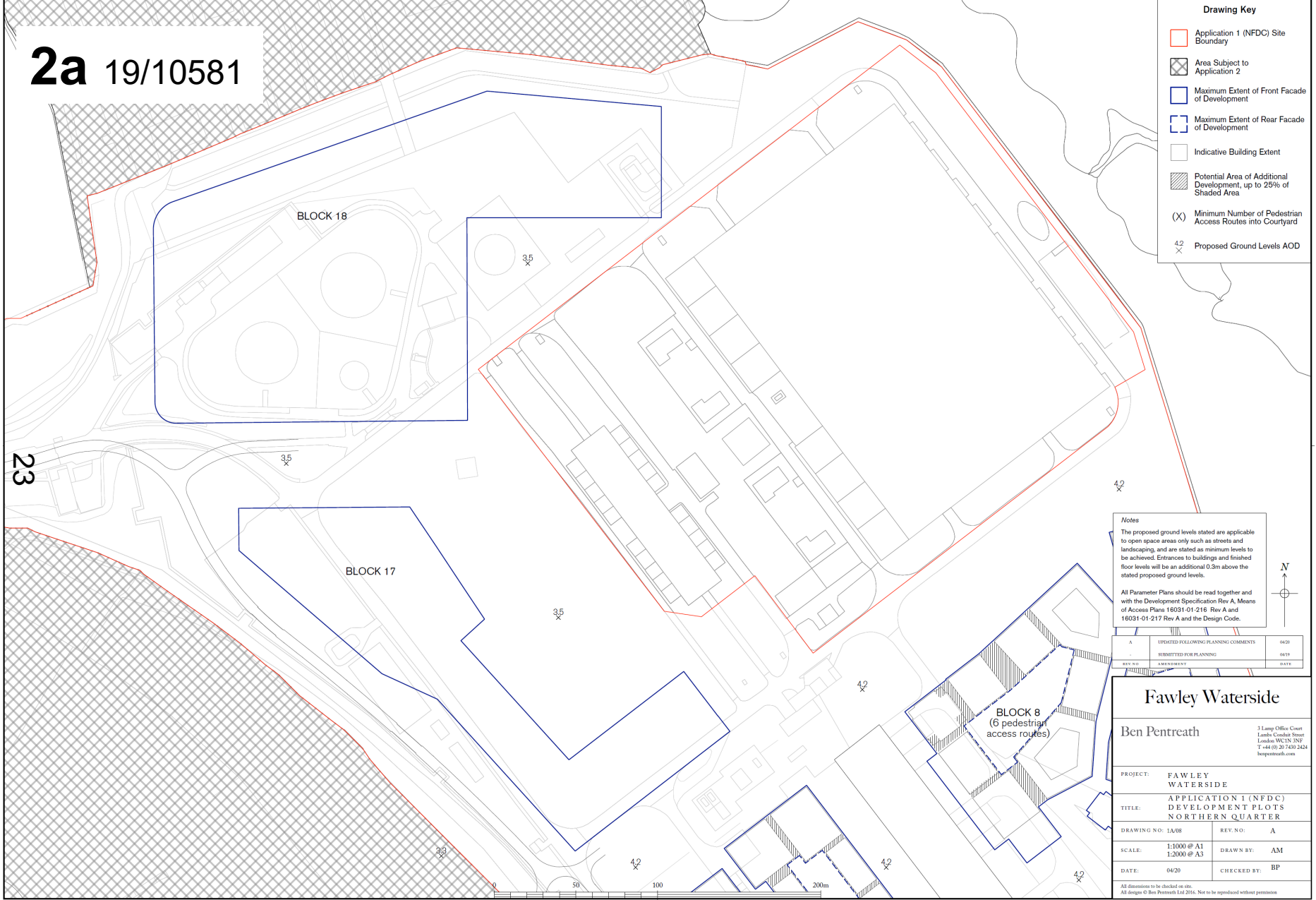
PROPERTY:	FAWLEY WATERSIDE		
TITLE:	APPLICATION 1 (NFDC) L.A. IN USE FIRST FLOOR AND ABOVE		
DRAWING NO.:	107	REV NO.:	A
SCALE:	1:500 (P.A.) 1:1000 (P.S.)	DRAWN BY:	JJM
DATE:	06/08	CHECKED BY:	BP

All drawings to be checked and signed by the applicant or their professional representative.

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- Drawing Key**
- Application 1 (NFDC) Site Boundary
 - Area Subject to Application 2
 - Maximum Extent of Front Facade of Development
 - Maximum Extent of Rear Facade of Development
 - Indicative Building Extent
 - Potential Area of Additional Development, up to 25% of Shaded Area
 - (X) Minimum Number of Pedestrian Access Routes into Courtyard
 - 4.2 X Proposed Ground Levels AOD



Notes

The proposed ground levels stated are applicable to open space areas only such as streets and landscaping, and are stated as minimum levels to be achieved. Entrances to buildings and finished floor levels will be an additional 0.3m above the stated proposed ground levels.

All Parameter Plans should be read together and with the Development Specification Rev A, Means of Access Plans 16031-01-216 Rev A and 16031-01-217 Rev A and the Design Code.



A	UPDATED FOLLOWING PLANNING COMMENTS	0420
	SUBMITTED FOR PLANNING	0619
	DATE	

Fawley Waterside

Ben Pentreath

3 Lamp Office Court
Lamb's Conduit Street
London WC1N 3NF
T. +44 (0) 20 7430 2424
benpentreath.com

PROJECT: FAWLEY WATERSIDE	
TITLE: APPLICATION 1 (NFDC) DEVELOPMENT PLOTS NORTHERN QUARTER	
DRAWING NO: 1A/08	REV. NO: A
SCALE: 1:1000 @ A1 1:2000 @ A3	DRAWN BY: AM
DATE: 0420	CHECKED BY: BP

All dimensions to be checked on site.
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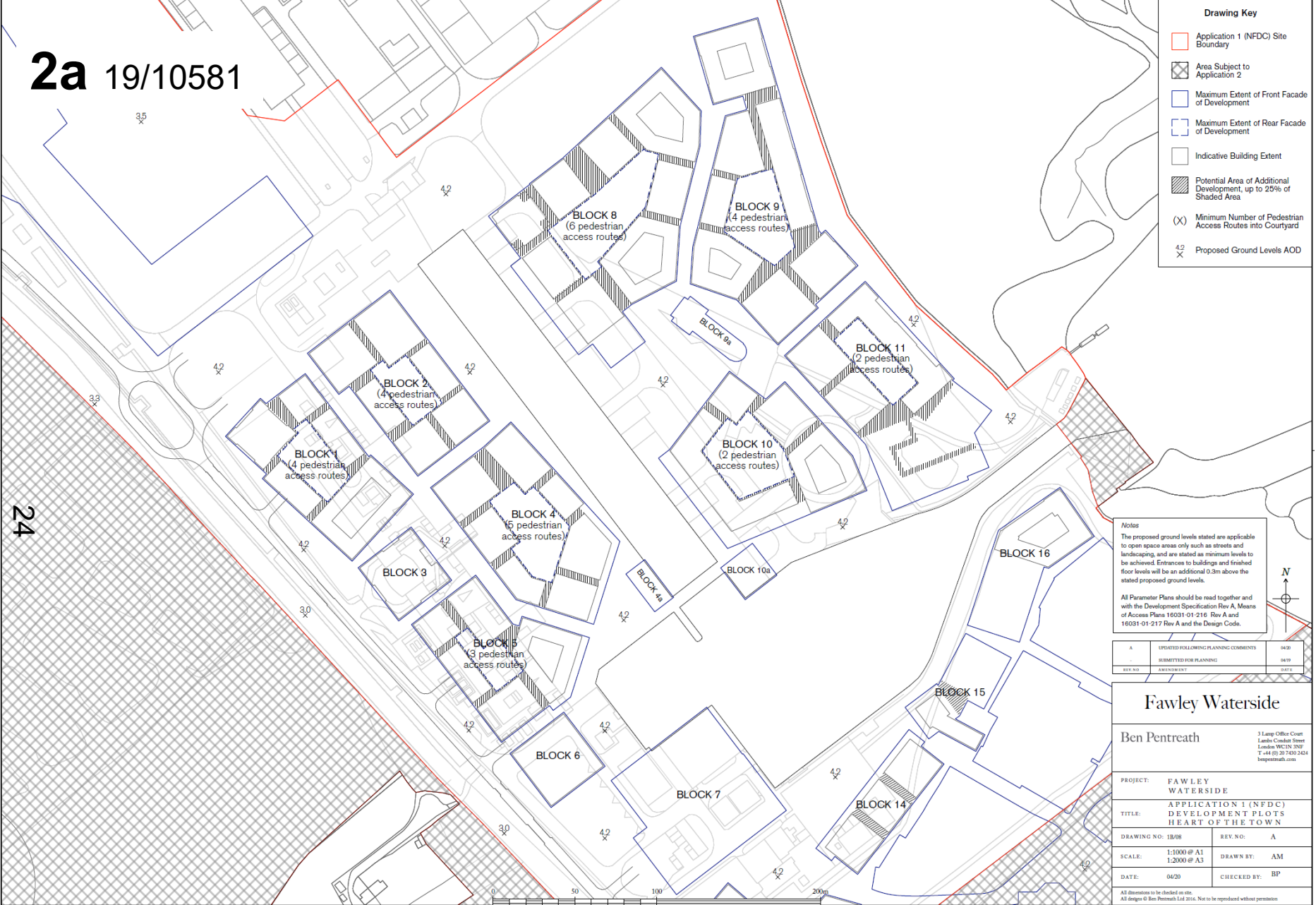
23

BLOCK 18

BLOCK 17

BLOCK 8
(6 pedestrian access routes)

2a 19/10581



- Drawing Key**
- Application 1 (NFDC) Site Boundary
 - Area Subject to Application 2
 - Maximum Extent of Front Facade of Development
 - Maximum Extent of Rear Facade of Development
 - Indicative Building Extent
 - Potential Area of Additional Development, up to 25% of Shaded Area
 - (X) Minimum Number of Pedestrian Access Routes into Courtyard
 - 4.2 X Proposed Ground Levels AOD

Notes

The proposed ground levels stated are applicable to open space areas only such as streets and landscaping, and are stated as minimum levels to be achieved. Entrances to buildings and finished floor levels will be an additional 0.3m above the stated proposed ground levels.

All Parameter Plans should be read together and with the Development Specification Rev A, Means of Access Plans 16031-01-216 Rev A and 16031-01-217 Rev A and the Design Code.



A	UPDATED FOLLOWING PLANNING COMMENTS	0420
	SUBMITTED FOR PLANNING	0419
REV NO	AMENDMENT	DATE

Fawley Waterside

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Lambro WIMBORNE
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benpentreath.com

PROJECT: FAWLEY WATERSIDE

TITLE: APPLICATION 1 (NFDC) DEVELOPMENT PLOTS HEART OF THE TOWN

DRAWING NO: 18/08	REV NO: A
SCALE: 1:1000 @ A1 1:2000 @ A3	DRAWN BY: AM
DATE: 04/20	CHECKED BY: BP

All dimensions to be checked on site.
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Drawing Key

- Application 1 (NFD) Site Boundary
- Area Subject to Application 2
- Maximum Extent of Front Facade of Development
- Maximum Extent of Rear Facade of Development
- Indicative Building Extent
- Potential Area of Additional Development, up to 25% of Shaded Area
- (X) Minimum Number of Pedestrian Access Routes into Courtyard
- 4.2
X Proposed Ground Levels AOD

Notes

The proposed ground levels stated are applicable to open space areas only such as streets and landscaping, and are stated as minimum levels to be achieved. Entrances to buildings and finished floor levels will be an additional 0.3m above the stated proposed ground levels.

All Parameter Plans should be read together and with the Development Specification Rev A, Means of Access Plans 16031-01-216 Rev A and 16031-01-217 Rev A and the Design Code.

A	STARTED FOLLOWING PLANNING COMMENTS	06/18
	SUBMITTED FOR PLANNING	06/19
REV. NO	APPROVED	DATE

Fawley Waterside

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PROJECT: FAWLEY WATERSIDE

TITLE: APPLICATION 1 (NFD) DEVELOPMENT PLOTS SOUTHERN QUARTER

DRAWING NO: 1008	REV. NO: A
SCALE: 1:1000 @ A1 1:2000 @ A3	DRAWN BY: AM
DATE: 06/20	CHECKED BY: BP

All dimensions to be checked on site.
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Drawing Key

- Application 1 (NFDC) Site Boundary
- Area Subject to Application 2
- Buildings must be;
 - 1 Storey
 - 2 Storeys
 - 3 Storeys
 - 4 Storeys
 - 5 Storeys
 - 6 Storeys
 - 7 Storeys
 - 8 Storeys
 - 9 Storeys
 - 10 Storeys
 - 11 Storeys
 - 12 Storeys
- Landmark Building
- Plinth of Ornamental Element
- Tapering Ornamental Element
- Arcaded on Ground Floor
- Employment / Industrial Uses Maximum Storeys
 - Up to 1 Storey
 - Up to 2 Storeys
 - Up to 3 Storeys
 - Up to 4 Storeys
- Maximum Permitted Floor to Floor Heights
 - 7m Ground Floor 4.6m Upper Floors
 - 7m Ground Floor 4.3m Upper Floors
 - 5m Ground Floor 3.8m Upper Floors
 - 4m Ground Floor 3.4m Upper Floors
- Employment / Industrial Floor to Floor Heights due to Building Use Maximum Height Above Proposed Ground Level (refer to Parameter Plan drawings 1/08, 1A/08, 1B/08, 1C/08, 2/08 & 2A/08)

Rules

- No building to exceed the total number of storeys shown and maximum building height
- Building outlines shown indicatively. Refer to drawings 1/08 Rev A, 1A/08 Rev A, 1B/08 Rev A, 1C/08 Rev A, 2/08 Rev A, 2A/08 Rev A

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Notes

All Parameter Plans should be read together and with the Development Specification Rev A, Means of Access Plans 16031-01-216 Rev A and 16031-01-217 Rev A and the Design Code.

REV NO	REVISION	DATE
A	UPDATED FOLLOWING PLANNING COMMENTS	04/20
	SUBMITTED FOR PLANNING	04/19

Fawley Waterside

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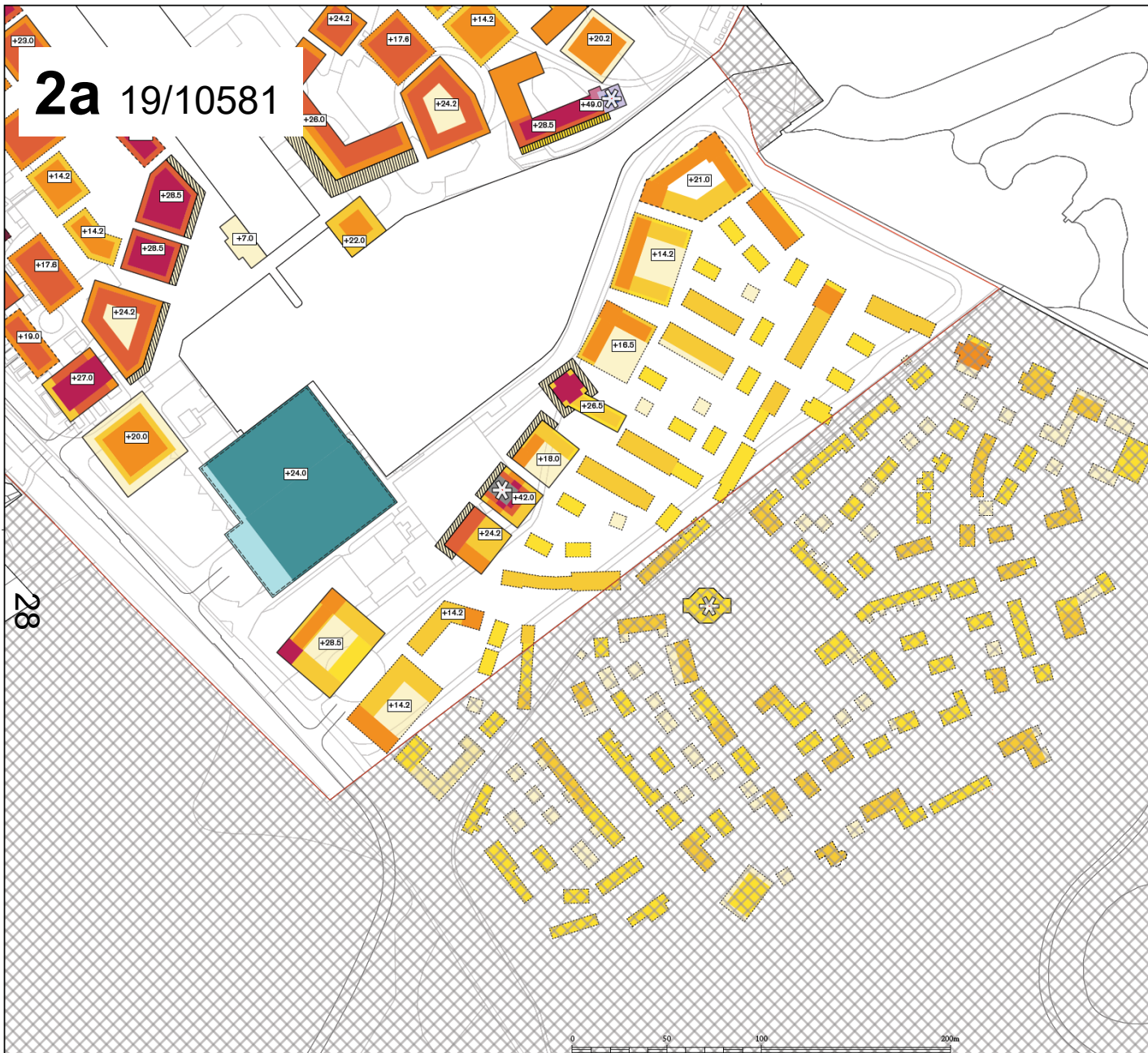
PROJECT: FAWLEY WATERSIDE

TITLE: APPLICATION 1 (NFDC) MAXIMUM BUILDING HEIGHTS PLAN - NORTHERN QUARTER

DRAWING NO: 1A/09	REV NO: A
SCALE: 1:1000 @ A1 1:2000 @ A3	DRAWN BY: AM
DATE: 04/20	CHECKED BY: BP

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Drawing Key

- Application 1 (NFDC) Site Boundary
- Area Subject to Application 2
- Buildings must be; 1 Storey
- 2 Storeys
- 3 Storeys
- 4 Storeys
- 5 Storeys
- 6 Storeys
- 7 Storeys
- 8 Storeys
- 9 Storeys
- 10 Storeys
- 11 Storeys
- 12 Storeys
- Landmark Building
- Plinth of Ornamental Element
- Tapering Ornamental Element
- Arcaded on Ground Floor

Employment / Industrial Uses Maximum Storeys

- Up to 1 Storey
- Up to 2 Storeys
- Up to 3 Storeys
- Up to 4 Storeys

Maximum Permitted Floor to Floor Heights

- 7m Ground Floor
4.6m Upper Floors
- 7m Ground Floor
4.3m Upper Floors
- 5m Ground Floor
3.8m Upper Floors
- 4m Ground Floor
3.4m Upper Floors

Employment / Industrial Floor to Floor Heights due to Building Use

- Maximum Height Above Proposed Ground Level
refer to Parameter Plan Drawings 1/08, 1A/08, 1B/08, 1C/08, 2/08 & 2A/08

Rules

- No building to exceed the total number of storeys shown and maximum building height
- Building outlines shown indicatively. Refer to drawings 1/08 Rev A
1A/08 Rev A
1B/08 Rev A
1C/08 Rev A
2/08 Rev A
2A/08 Rev A

Notes
All Parameter Plans should be read together and with the Development Specification Rev A, Means of Access Plans 16031-01-216 Rev A and 16031-01-217 Rev A and the Design Code.

REV. NO.	DESCRIPTION	DATE
A	UPDATED FOLLOWING PLANNING COMMENTS	04/20
-	SUBMITTED FOR PLANNING	04/19

Fawley Waterside

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3 Lamp Office Court
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T +44 (0) 20 7410 2424
benpentreath.com

PROJECT: FAWLEY WATERSIDE	
TITLE: APPLICATION 1 (NFDC) MAXIMUM BUILDING HEIGHTS PLAN - SOUTHERN QUARTER	
DRAWING NO.: 1C/09	REV. NO.: A
SCALE: 1:1000 @ A1 1:2000 @ A3	DRAWN BY: AM
DATE: 04/20	CHECKED BY: BP

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Drawing Key	
	Application 1 (NFDC) Site Boundary
	Area Subject to Application 2
	Building/Structures to be Retained
	Existing Dock to be Retained
	Building/Structures to be Demolished

Building Key	
1	400kV Substation
2	132kV Substation
3	Supergrid Transformer 1
4	Supergrid Transformer 2
5	Gate House
6	Cooling Water Outfall Building
7	Dock
8	Sewage Treatment Works
9	Electricity Pylons
10	Quarry Buildings

Notes
 All Parameter Plans should be read together and with the Development Specification Rev A, Means of Access Plans 16031-01-216 Rev A and 16031-01-217 Rev A and the Design Code.



REV NO	AMENDMENT	DATE
A	UPDATED FOLLOWING PLANNING COMMENTS	04/20
-	SUBMITTED FOR PLANNING	04/19

Fawley Waterside

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 London WC1N 3NF
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PROJECT:	FAWLEY WATERSIDE
TITLE:	APPLICATION 1 (NFDC) DEMOLITION/RETENTION
DRAWING NO:	1/02
REV. NO.:	A
SCALE:	1:5000 @ A1 1:10000 @ A3
DRAWN BY:	AM
DATE:	04/20
CHECKED BY:	BP

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Notes
 Proposed coastal footpaths within Tom Tiddlers Ground will be at least 2m AOD. Refer to the Note on Coastal Footpath Management for more detail.
 All Parameter Plans should be read together and with the Development Specification Rev A, Means of Access Plans 16031-01-216 Rev A and 16031-01-217 Rev A and the Design Code.

REV. NO.	AMENDMENT	DATE
-	UPDATED FOLLOWING PLANNING COMMENTS	04/20
-	SUBMITTED FOR PLANNING	04/20

Fawley Waterside

Ben Pentreath 3 Lamp Office Court
Lamb Court Street
London WC1N 3NF
T: +44 (0) 20 7635 2424
benpentreath.com

PROJECT: FAWLEY WATERSIDE

TITLE: APPLICATION 1 (NFDC) ACCESS & MOVEMENT

DRAWING NO: 105	REV. NO: A
SCALE: 1:5000 @ A1 1:10000 @ A3	DRAWN BY: AM
DATE: 04/20	CHECKED BY: BP

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- Drawing Key**
- Application 1 (NFDC) Site Boundary
 - Area Subject to Application 2
 - Informal Open Space
 - Green Square / Grazed Green (excluded from informal open space calculation)
 - Nature Conservation Area 1
 - Nature Conservation Area 2
 - Ashlett SANG
 - Tom Tidders SANG
 - Fawley SANG
 - Indicative Area of Search for Allotments & Informal Open Space
 - Droveways (Counted as Informal Open Space)
 - Play Space
 - Water
 - Indicative Maximum of Lagoon and Creek

Notes
 All Parameter Plans should be read together and with the Development Specification Rev A, Means of Access Plans 16031-01-216 Rev A and 16031-01-217 Rev A and the Design Code.

A	UPDATED FOLLOWING PLANNING COMMENTS	04/20
-	SUBMITTED FOR PLANNING	04/19
REV NO	A REVISION	DATE

Fawley Waterside

Ben Pentreath
 1 Leap Office Court
 Lamba Court Street
 Lamba WC1N 3NF
 T: +44 (0) 20 7430 2424
 benpentreath.com

PROJECT: FAWLEY WATERSIDE	
TITLE: APPLICATION 1 (NFDC) GREEN INFRASTRUCTURE, OPEN SPACE & SANGS	
DRAWING NO: L04	REV NO: A
SCALE: 1:5000 @ A1 1:10000 @ A3	DRAWN BY: AM
DATE: 04/20	CHECKED BY: BP

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- Drawing Key**
- Application 1 (NFDC) Site Boundary
 - Area Subject to Application 2
 - Area of Retained Trees
 - Retained Cat A & B Tree
 - Area of Removed Trees
 - Removed Cat U Tree
 - Proposed Tree
 - Proposed Orchard Tree
 - Chambers Copse
 - Retained Hedgerows
 - Proposed Hedgerows
 - Removed Hedgerows

Notes
 Existing tree locations shown illustratively
 Precise number and location of proposed trees to be agreed at Reserved Matters.
 All Parameter Plans should be read together and with the Development Specification Rev A, Means of Access Plans 16081-01-216 Rev A and 16081-01-217 Rev A and the Design Code.



A	REVISED FOLLOWING PLANNING COMMENTS	SWB
-	SUBMITTED FOR PLANNING	SWB
REV. NO.	A REVISION	DATE

Fawley Waterside

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Lamb Corner Street
Lisieux, WICK, ENGL
T +44 (0) 20 7430 2424
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PROJECT: FAWLEY WATERSIDE	
TITLE: APPLICATION 1 (NFDC) EXISTING AND PROPOSED TREES	
DRAWING NO.: 1/11	REV. NO.: A
SCALE: 1:5000 @ A1 1:10000 @ A3	DRAWN BY: AM
DATE: 04/20	CHECKED BY: BP

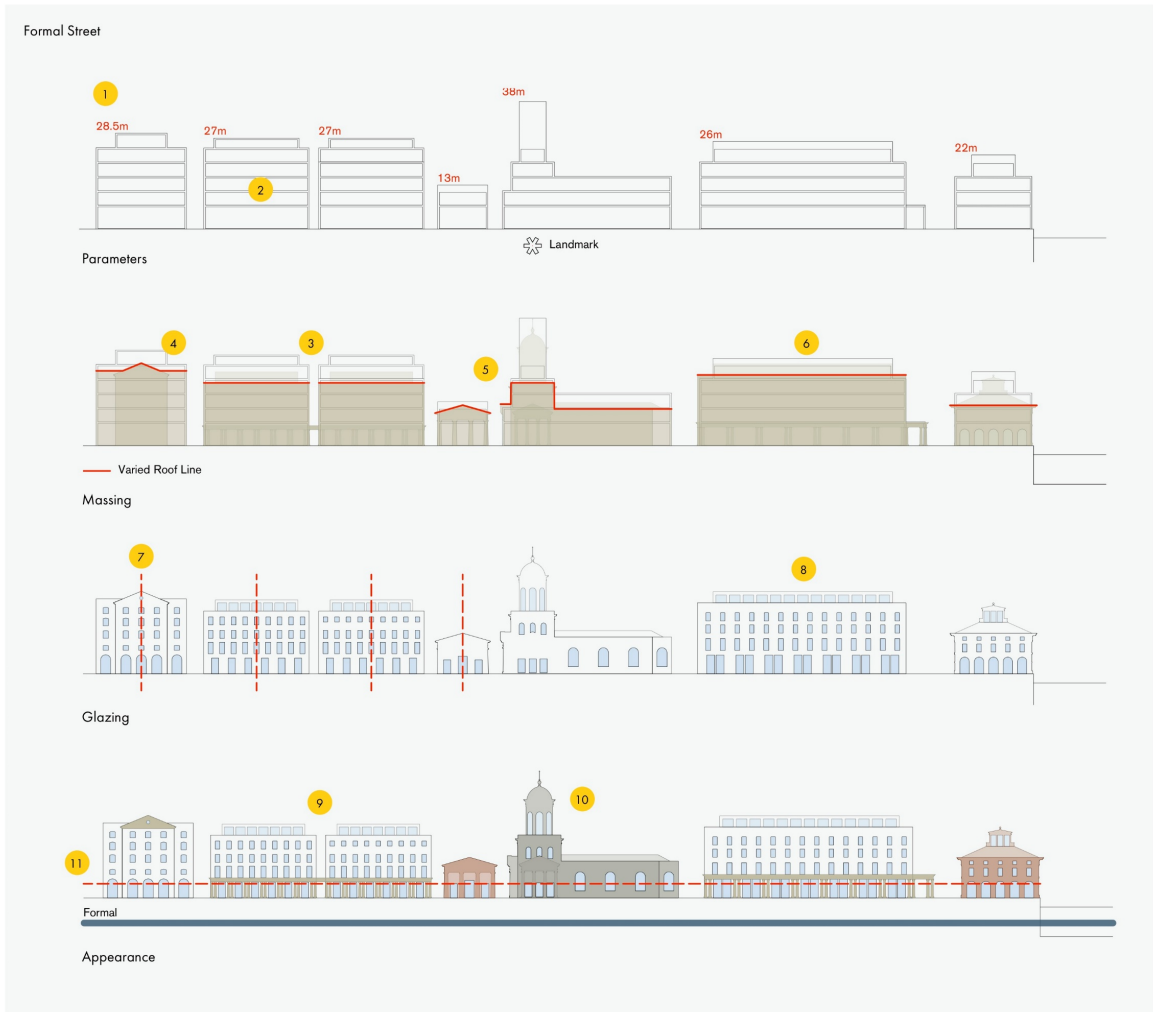
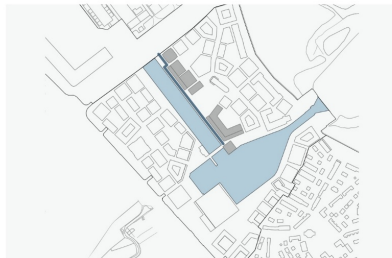
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FORMAL STREET

A number of streets within the Heart of the Town have been identified as being formal streets which will comprise of some 'set piece' civic scale buildings as part of a more regular and repeated street scene. The elevational diagrams illustrate how the design coding requirements will be applied to a detailed design solution for a formal street.

- 1 Maximum building height
- 2 Maximum floor to floor heights defined by parameters
- 3 Buildings will not be required to be built to maximum height parameters
- 4 Roof forms will be required to vary
- 5 The street frontage will include set piece civic buildings
- 6 Buildings either side of set piece civic buildings will be designed as part of a regular and consistent street scene adhering to formal design principles
- 7 Elevations with clear vertical articulation to façade and regular spacing of windows
- 8 Glazing will not exceed 35% of wall area
- 9 Architectural detailing will be used to achieve formal character
- 10 Landmark buildings will have the highest level of detail and enrichment
- 11 Heightened detail and interest at ground floor



2a 19/10581

THE ESPLANADE

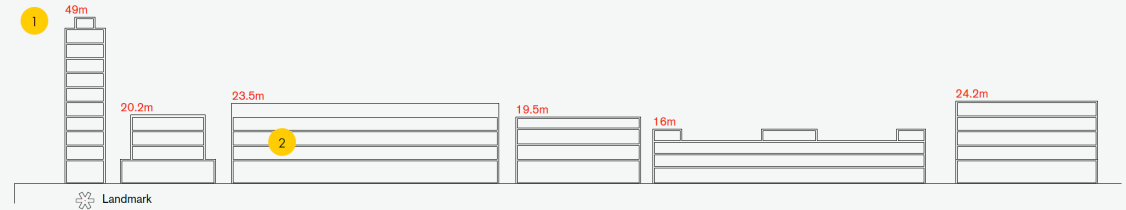
The Esplanade is the eastern edge of the town fronting onto Southampton Water, the design will adopt a slightly reduced scale with buildings gradually stepping up in height behind. It is intended that this frontage will include a combination of formal set piece buildings and less buildings. The proposed hotel building is a local landmark building and has been illustratively designed in an Art Deco style marking the entrance to the Dock. The elevational diagrams illustrate how the design coding requirements will be applied to a detailed design solution.

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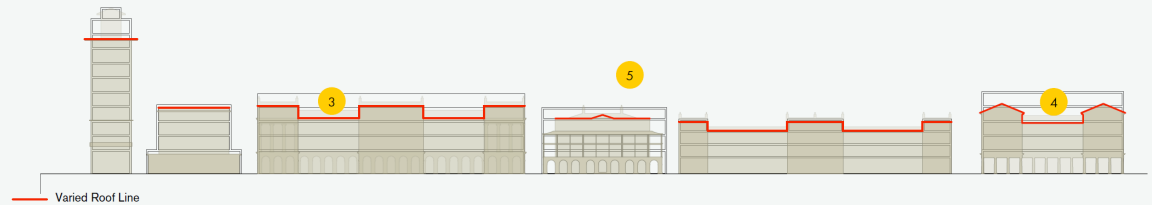
- 1 Maximum building height
- 2 Maximum floor to floor heights defined by parameters
- 3 Buildings will not be required to be built to maximum height parameters
- 4 Roof forms will be required to vary
- 5 The street frontage will include a combination of set piece buildings and buildings of smaller plot width to achieve a street scene of varied scale
- 6 Elevations with clear vertical articulation to façade and regular spacing of windows
- 7 Glazing will not exceed 35% of wall area
- 8 Architectural detailing will be used to achieve street scenes with gentle and meaningful variation
- 9 Set back features will be used to further articulate facades
- 10 Heightened detail and interest at ground floor
- 11 Continuity and enclosure achieved between buildings through connecting walls and archways
- 12 Buildings on important corners will be designed with increased status



The Esplanade



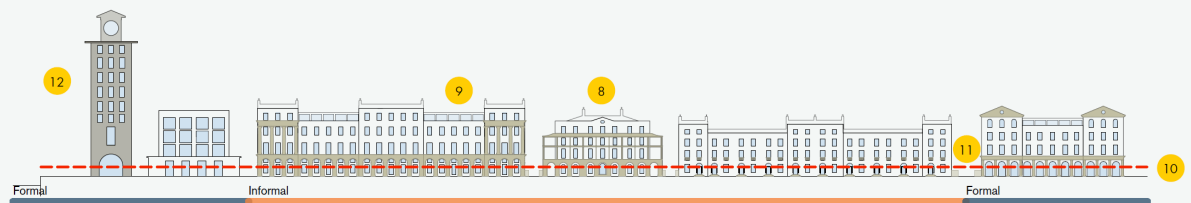
Parameters



Massing



Glazing



Appearance



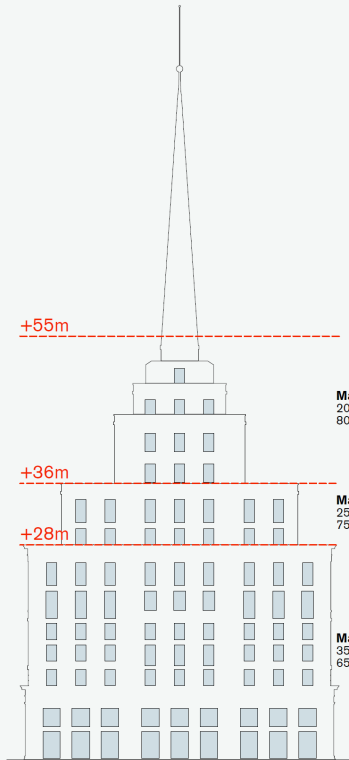
WESTERN EDGE BUILDING HEIGHTS

The western edge street elevation shows the maximum building heights that are fixed by the Parameter Plans and the maximum street frontage building height

Xm Max Street Frontage Height
Xm Max Building Height

36



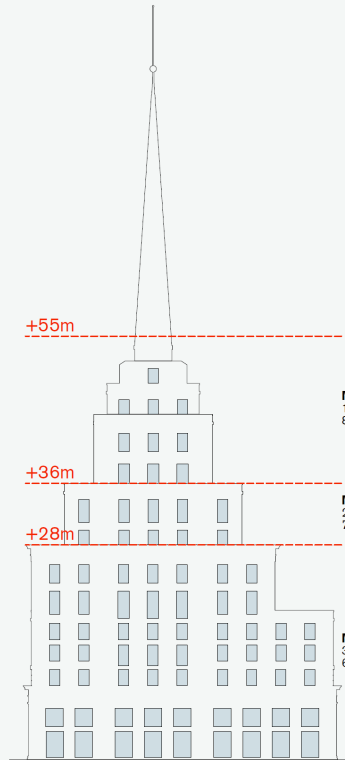


Max. Wall to Glazing Ratio
20% Glazing
80% Wall

Max. Wall to Glazing Ratio
25% Glazing
75% Wall

Max. Wall to Glazing Ratio
35% Glazing
65% Wall

1. East Elevation

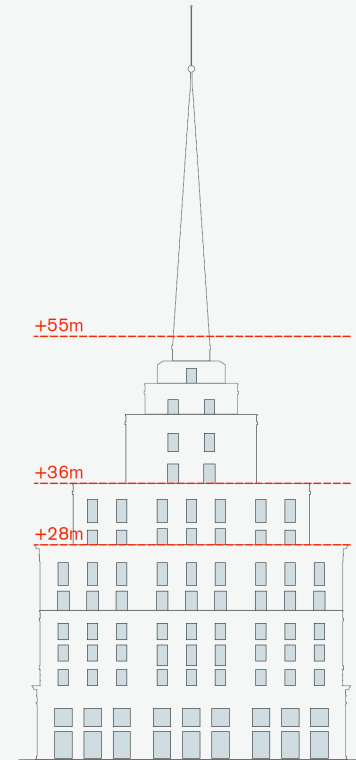


Max. Wall to Glazing Ratio
18% Glazing
82% Wall

Max. Wall to Glazing Ratio
25% Glazing
75% Wall

Max. Wall to Glazing Ratio
35% Glazing
65% Wall

2 and 3. North/ South Elevation



Max. Wall to Glazing Ratio
15% Glazing
85% Wall

Max. Wall to Glazing Ratio
25% Glazing
75% Wall

Max. Wall to Glazing Ratio
35% Glazing
65% Wall

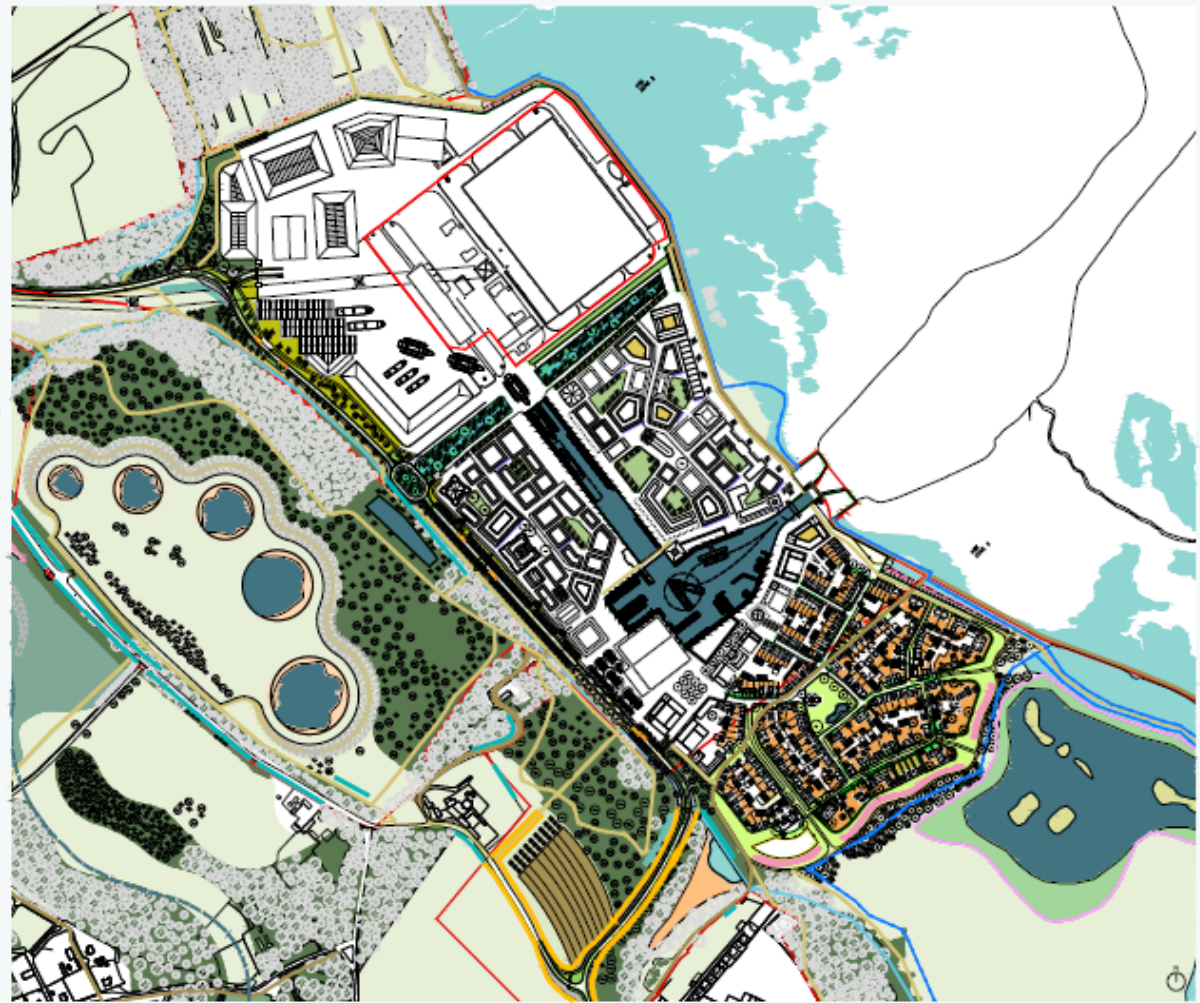
4. West Elevation

- Hard Landscape Plan
- Application Site Boundary (NFNPA)
 - Application Site Boundary (NFDC)
 - Hoggin
 - Granite / Cobble Sets
 - Brick Pavers
 - Tarmac
 - Tarmac Chipping
 - Timber Pontoon
 - Compacted Gravel
 - Play Area (Surface materials to be conditioned)
 - Permeable Paving Sets
 - Proposed Shared Cycle / Footway Surface (Utilising 6mm Thin Surfacing System, Buff colour - Heart of Town; 10mm Granular Surface - Rural Area)
 - Existing Footpath (Material Varies)
 - Proposed Footpath (Hoggin)
 - Coastal Fence



Soft Landscape Plan

- Combined Application Site Boundaries
- Existing Woodland (Indicative only)
- Proposed Trees and Woodland
- Proposed Native Garden Hedge
- Grazing Marsh
- Grazed Village Green Space
- Private Rear Garden
- Private Front Garden
- Communal Garden
- Grass and Shrub Planting / Regeneration
- Woodland / Wood Pasture Planting
- Urban Forest
- Green Square
- Allotments
- Roadbed
- Green Verge
- Lagoon / Pond
- Green Verge
- Vertical Green
- Existing Footpath
- Proposed Footpath
- Proposed Road Side Hedge
- Retained Road Side Hedge



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DO NOT SCALE OFF THIS DRAWING

Notes

1. This drawing shows extent of adopted highways land under Section 38 and 276 process and it is subject to HCC approval during detailed design.
2. This drawing is to be read in conjunction with all scheme drawings with reference 16031-MA-AC-XX-SK.
3. All dimensions are in metres and levels are in mAOD unless stated otherwise.
4. Fawley Waterside Management Company will be responsible of the maintenance of the features within the private land.

KEY

- S276 Highways Land
- S38 Highways Land
- Private Land

Revision History

No	Description	By	JN	AN	25.04.2020
P01	FOR INFORMATION	BA	JN <td>AN</td> <td>25.04.2020</td>	AN	25.04.2020
P02	FOR INFORMATION	BA	JN <td>AN</td> <td>02.05.2020</td>	AN	02.05.2020
Rev	Comment	By	Check	Appr	Date
	Current Revision				
P03	FOR INFORMATION	BA	JN <td>AN</td> <td>26.04.2020</td>	AN	26.04.2020
Rev	Comment	By	Check	Appr	Date

S2 - FOR INFORMATION

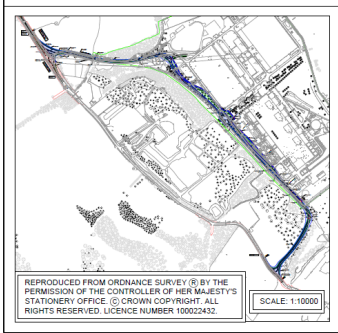
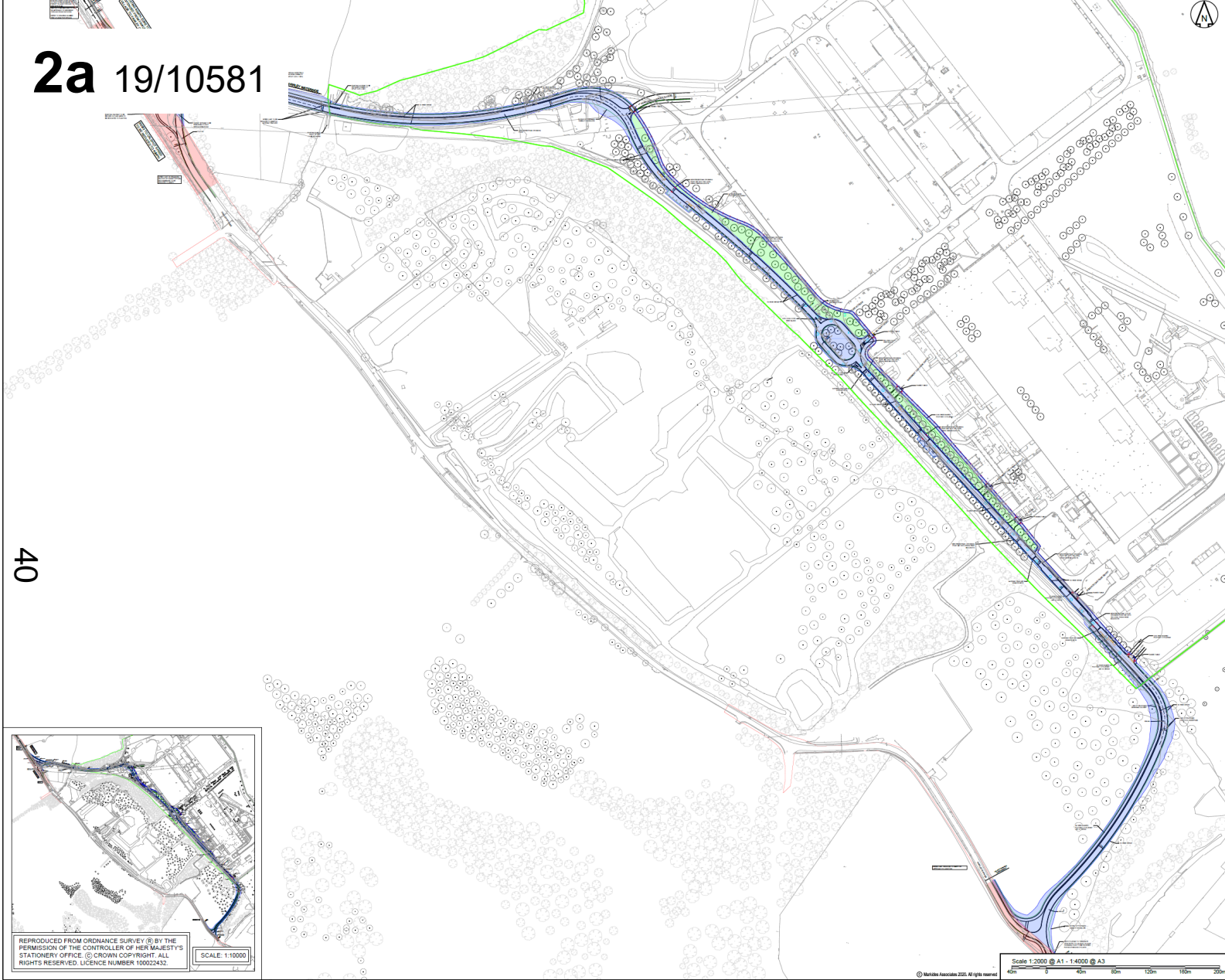
FAWLEY WATERSIDE LTD

MARKIDES ASSOCIATES

Project: **FAWLEY WATERSIDE**

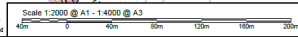
Drawing Title: **HIGHWAYS LAND PLAN**

Markides Associates reference: 16031-MA-AC-XX 1:2000 @ A1
 16031-MA-AC-XX-SK-C-0002 - P02



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SCALE: 1:10000



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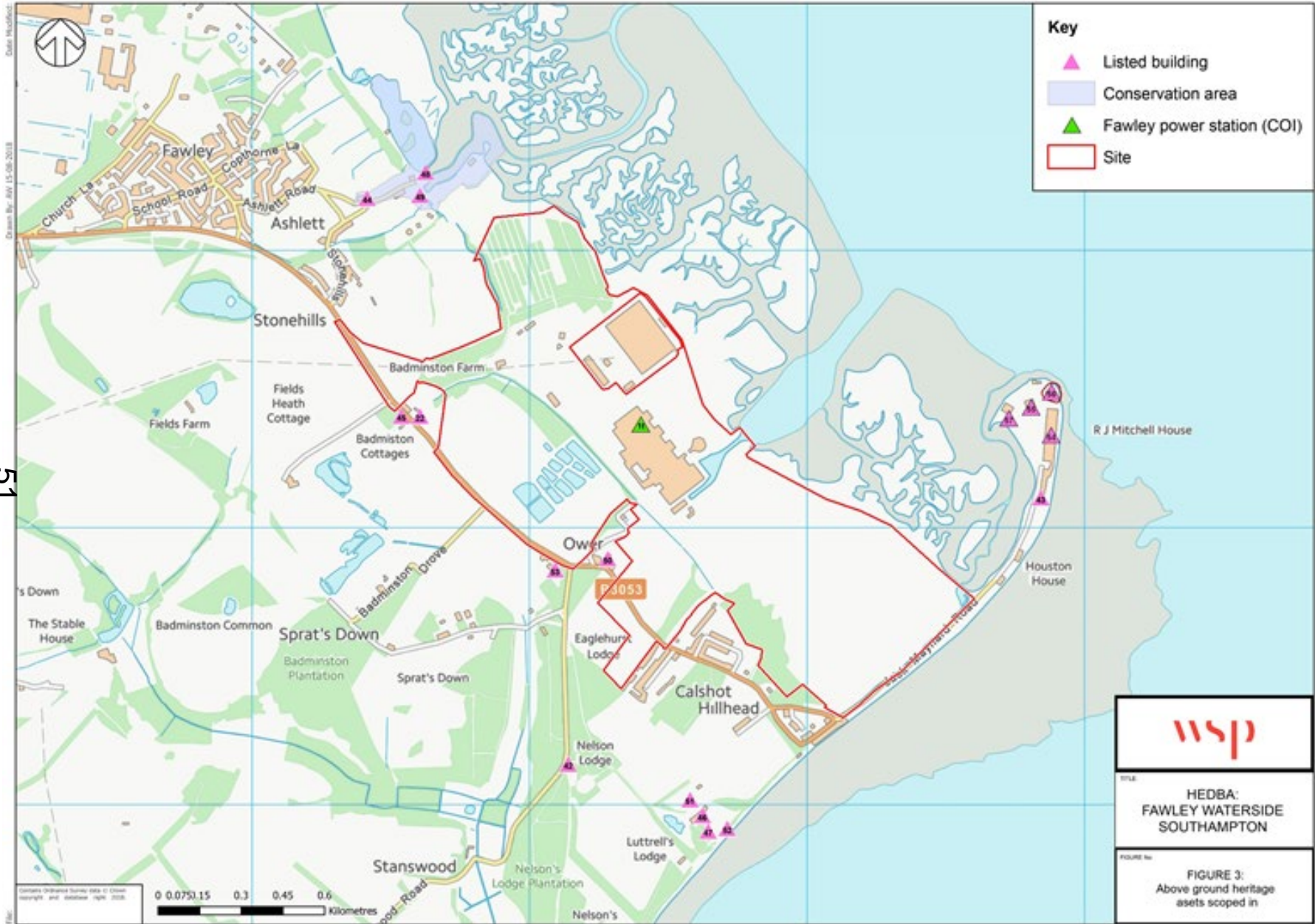
44

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**Photographs - POWER STATION FROM SOUTH-
WEST CORNER**

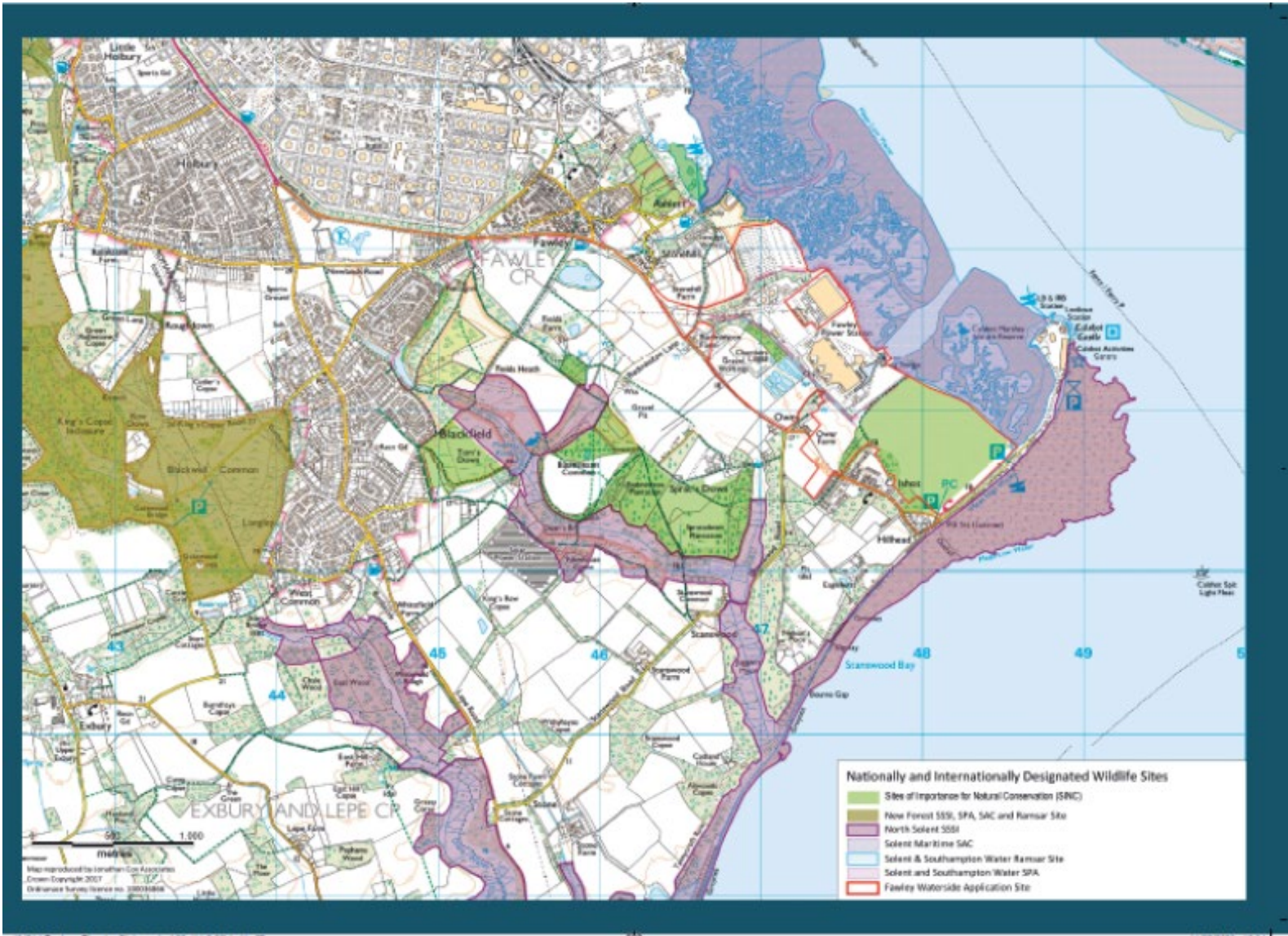
2a 19/10581

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Photographs – POWER STATION FROM OWER
FARM



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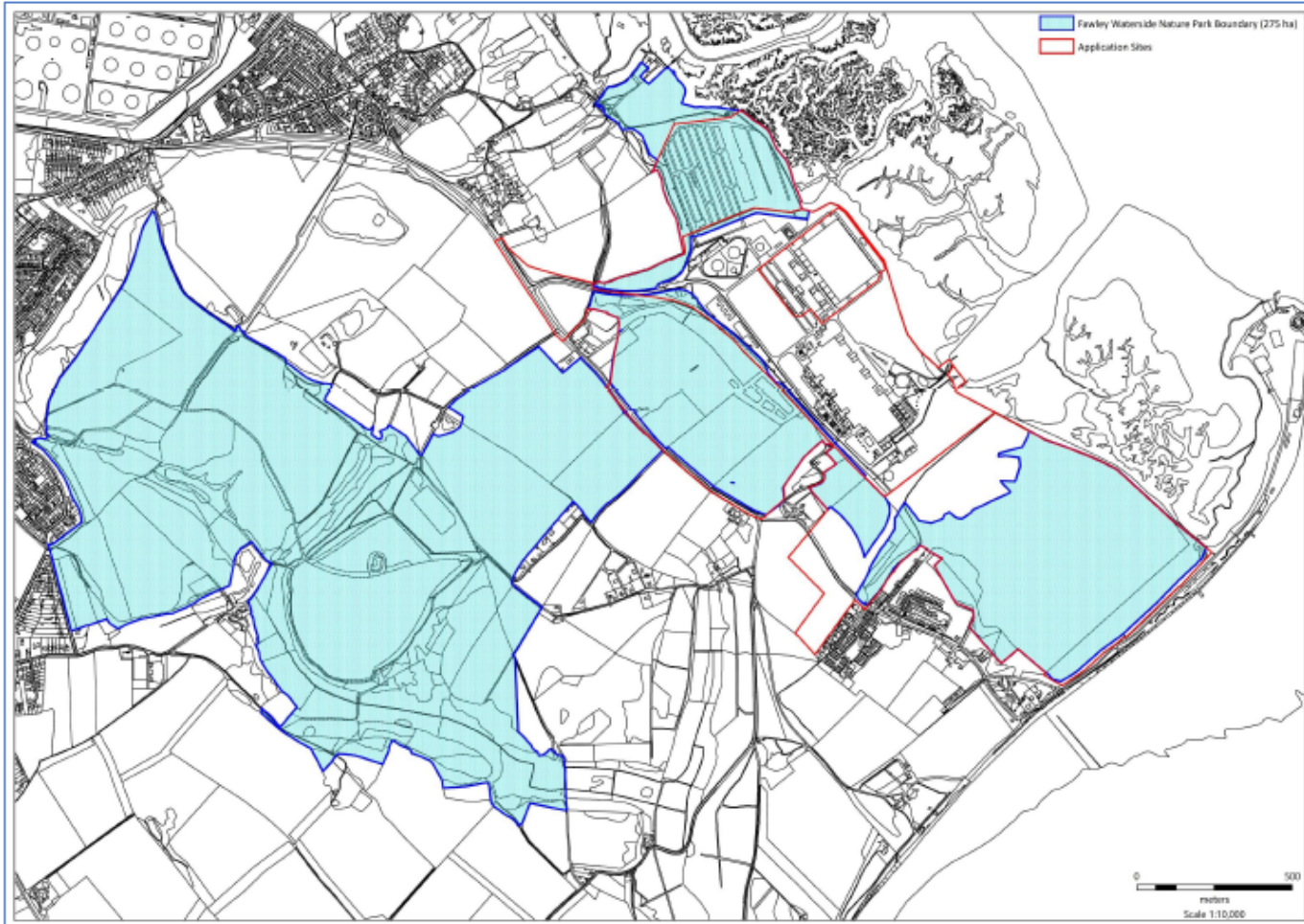


Figure 1: Nature Park Plan Area and Application Site Boundary

Jonathan Cox

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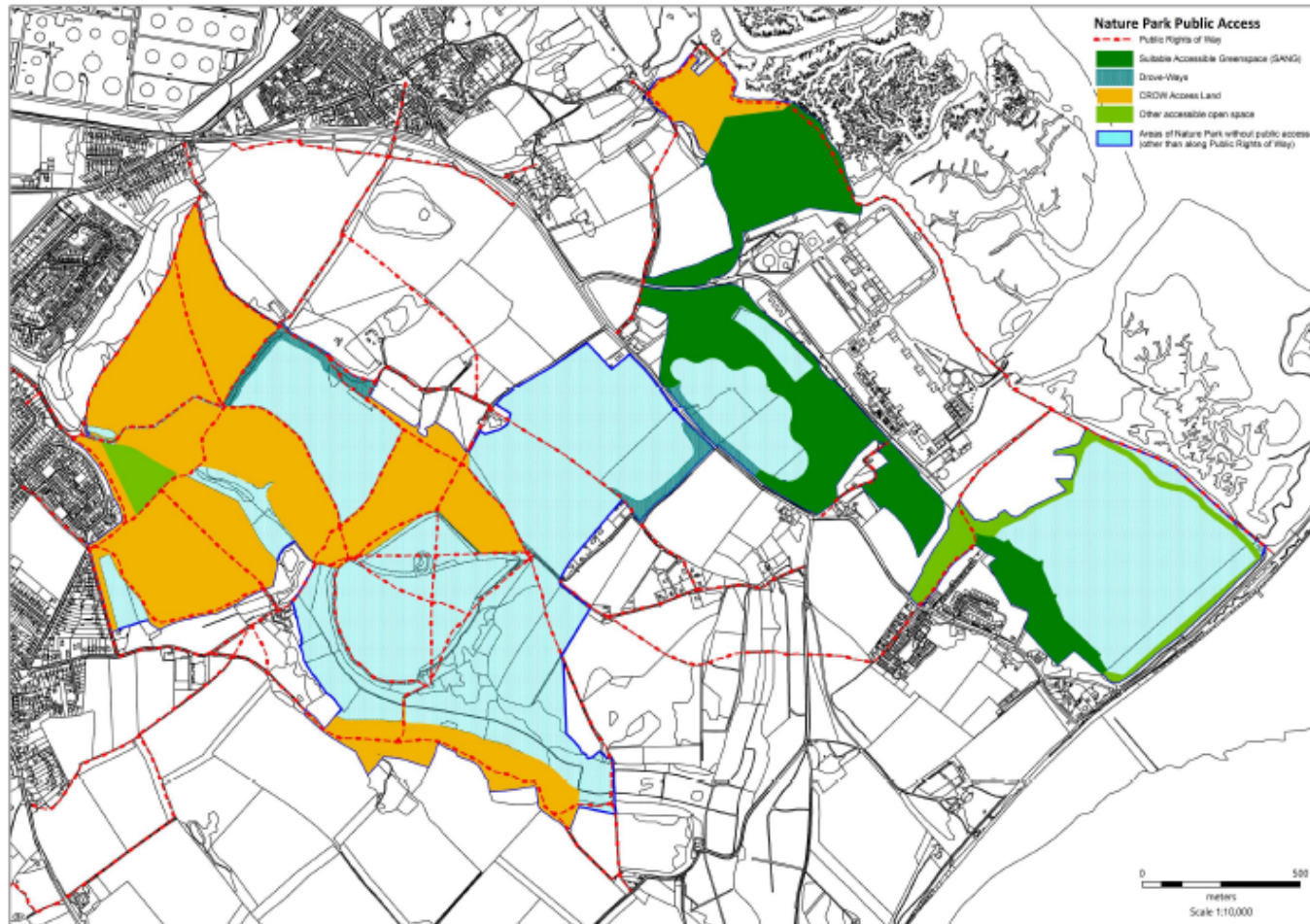
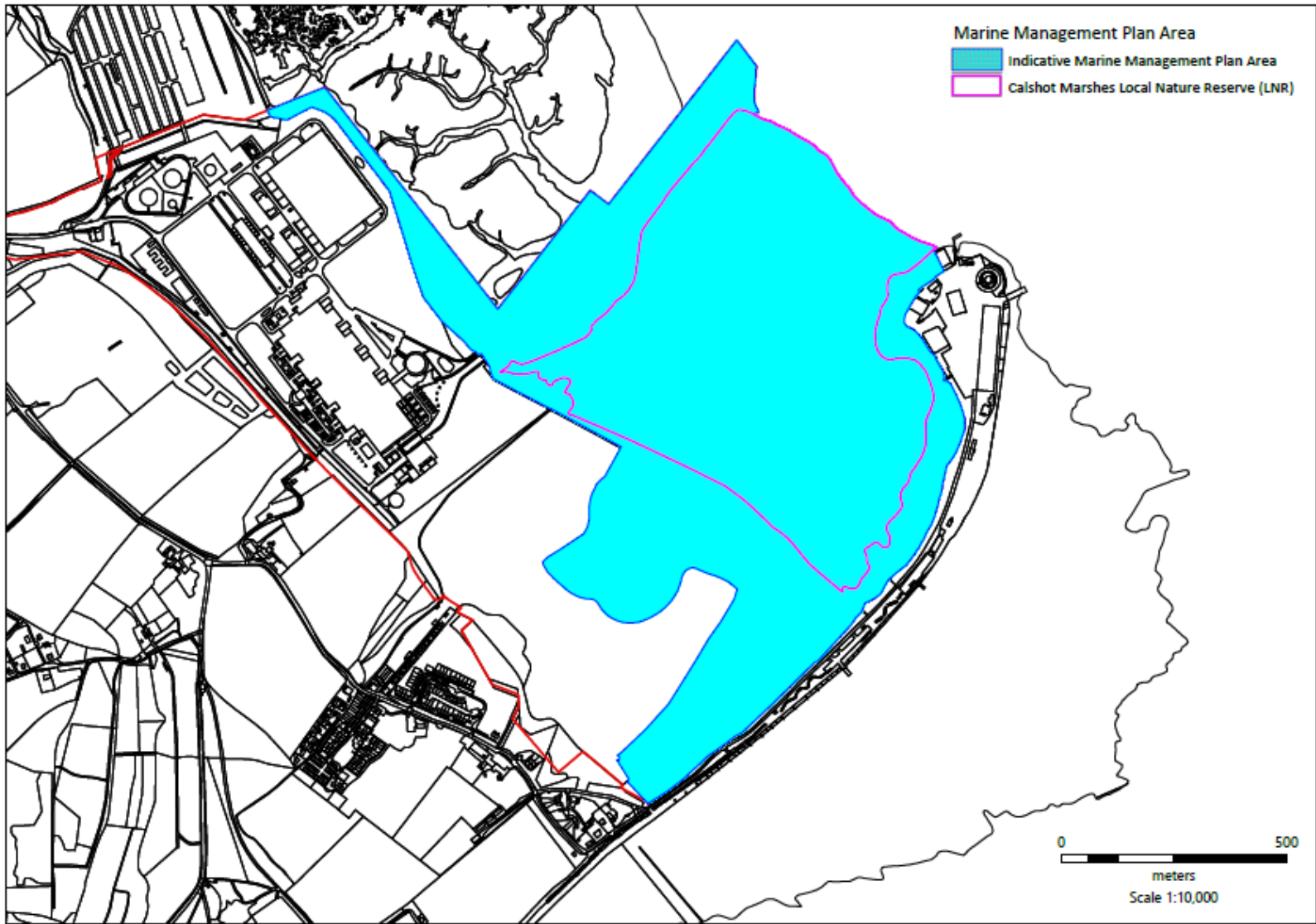
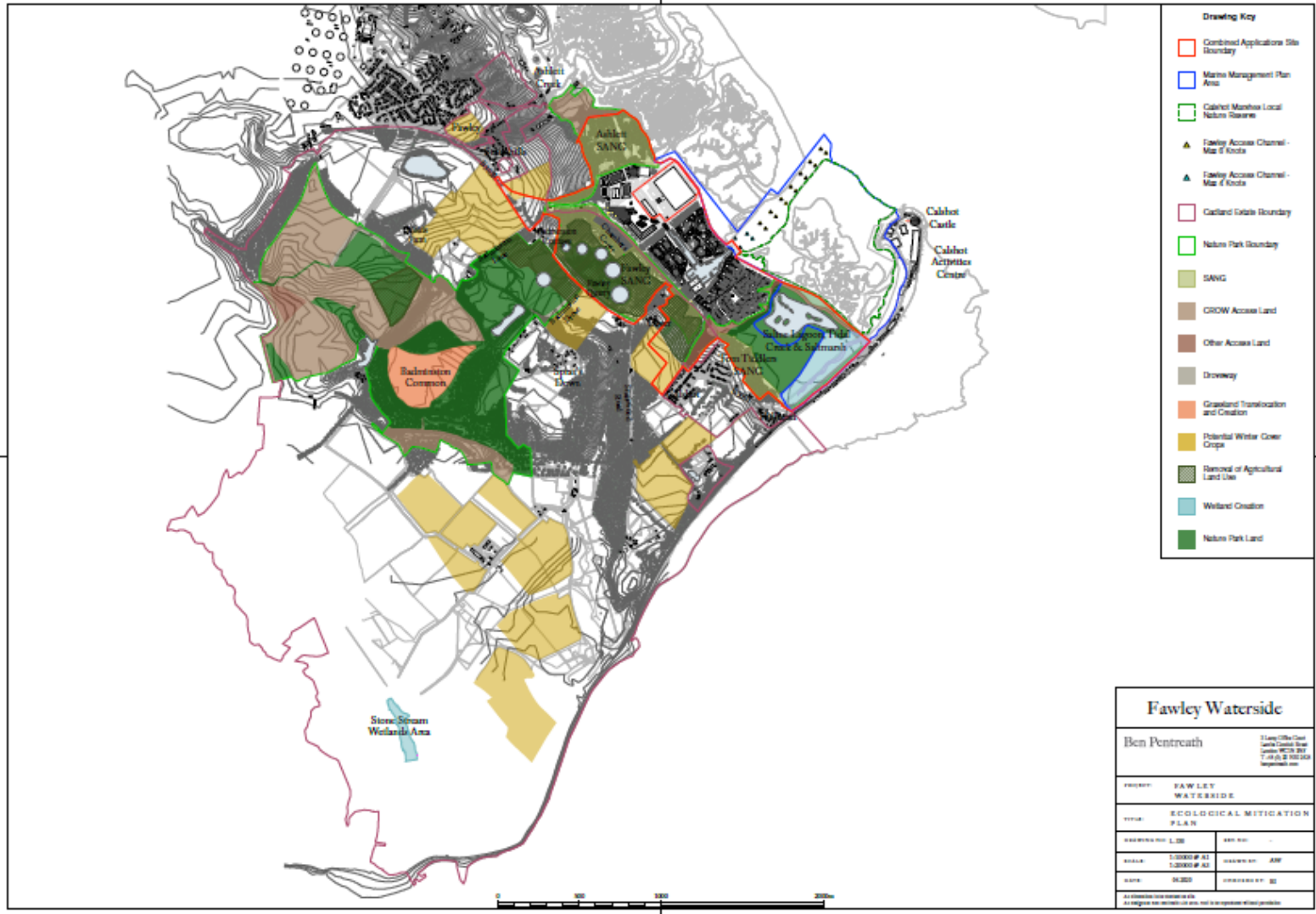


Figure 2: Nature Park Public Access Provision

Jonathan Cox

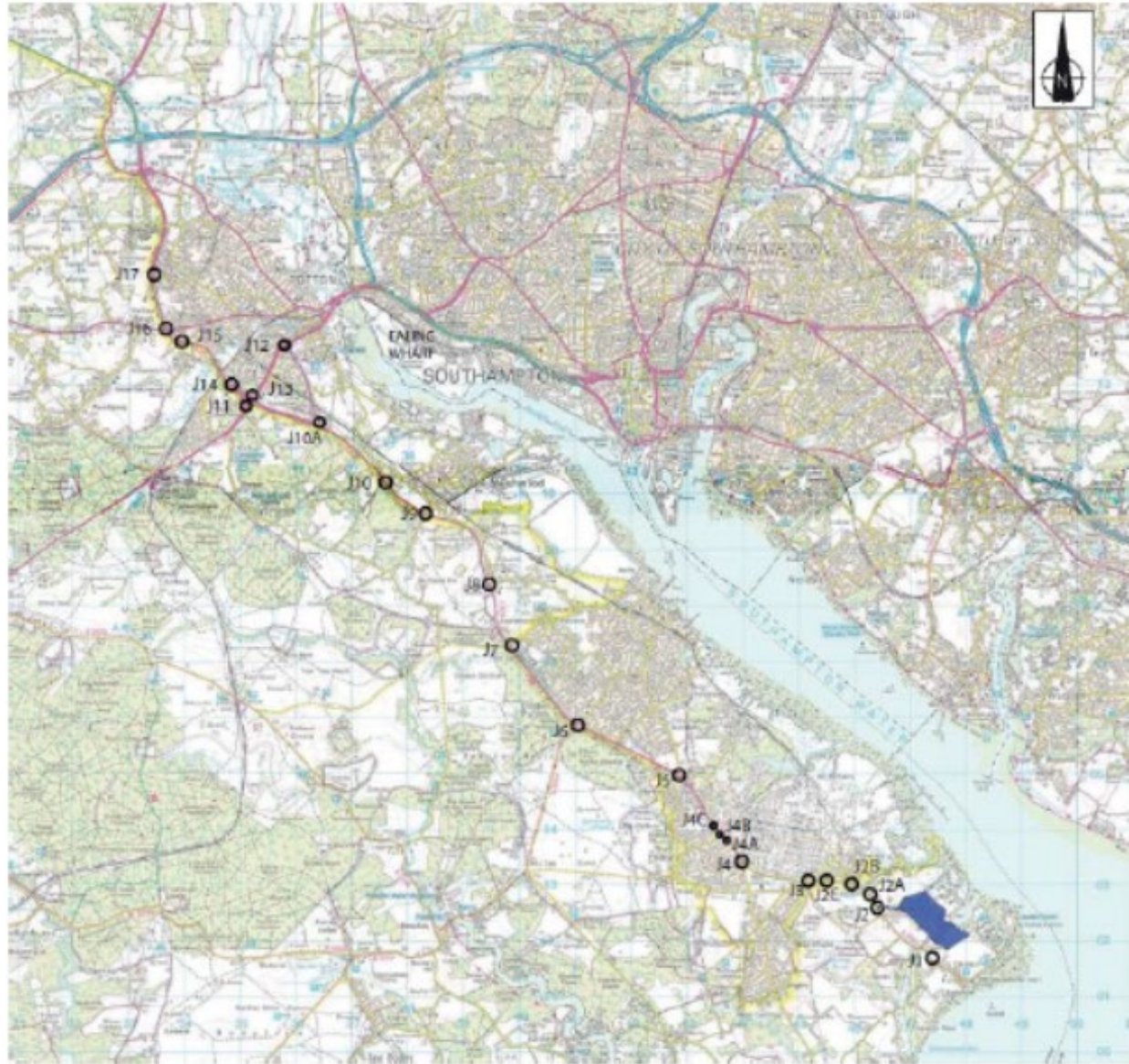


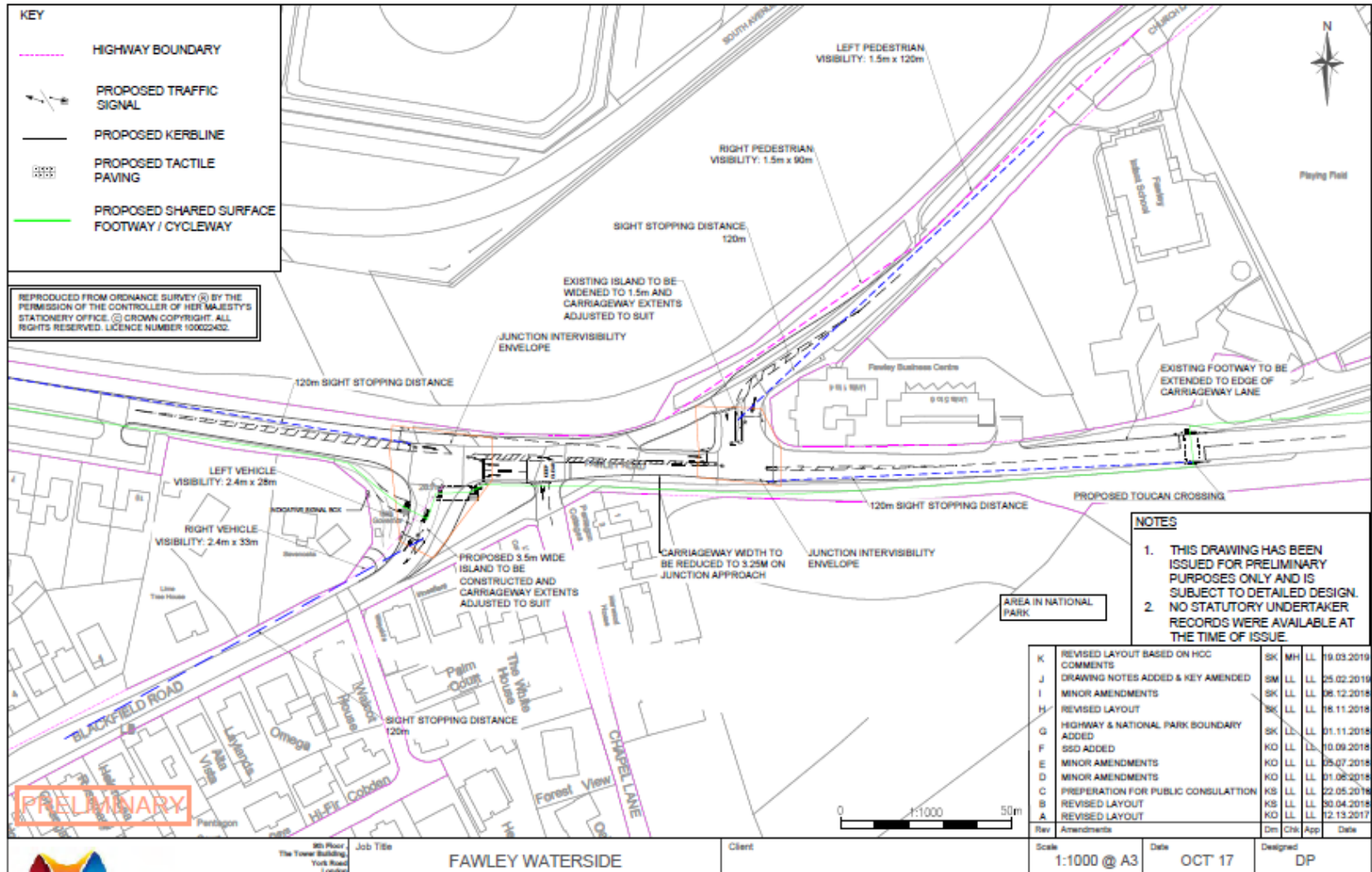
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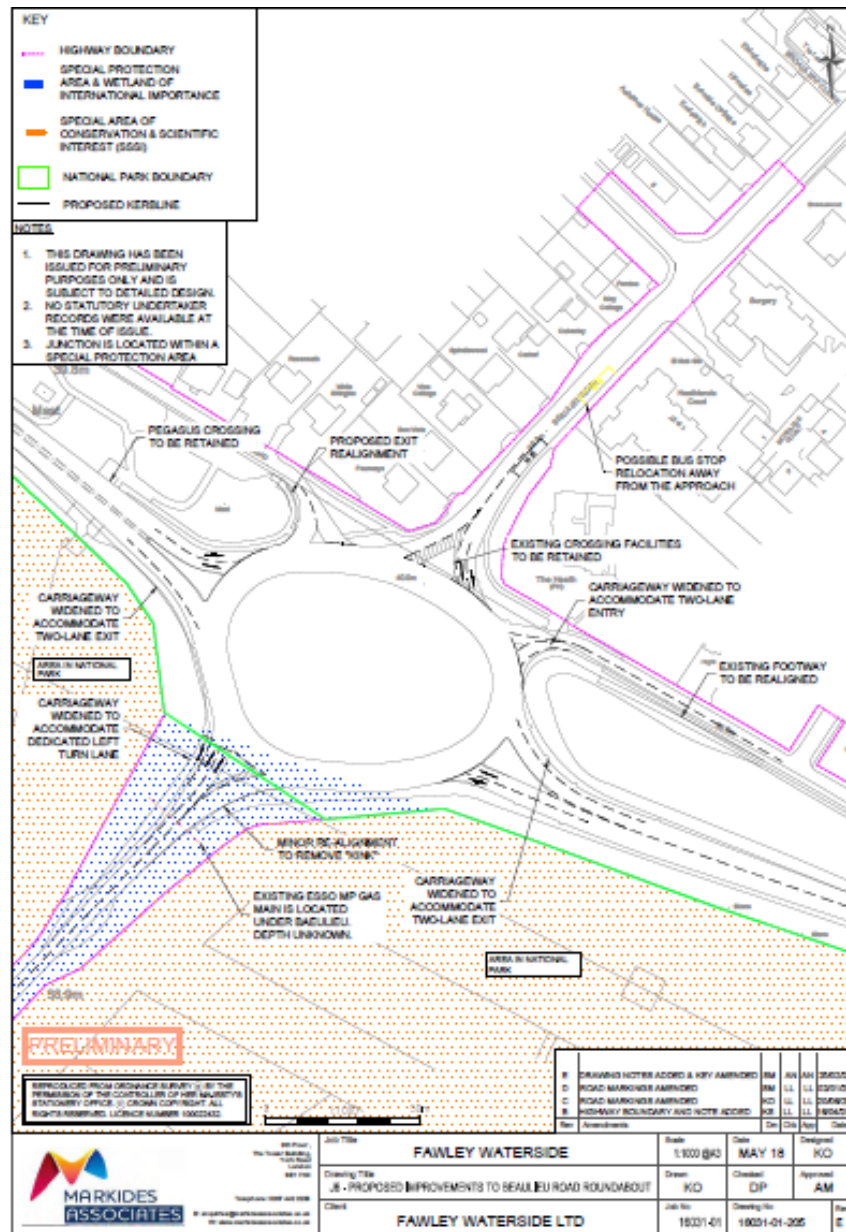


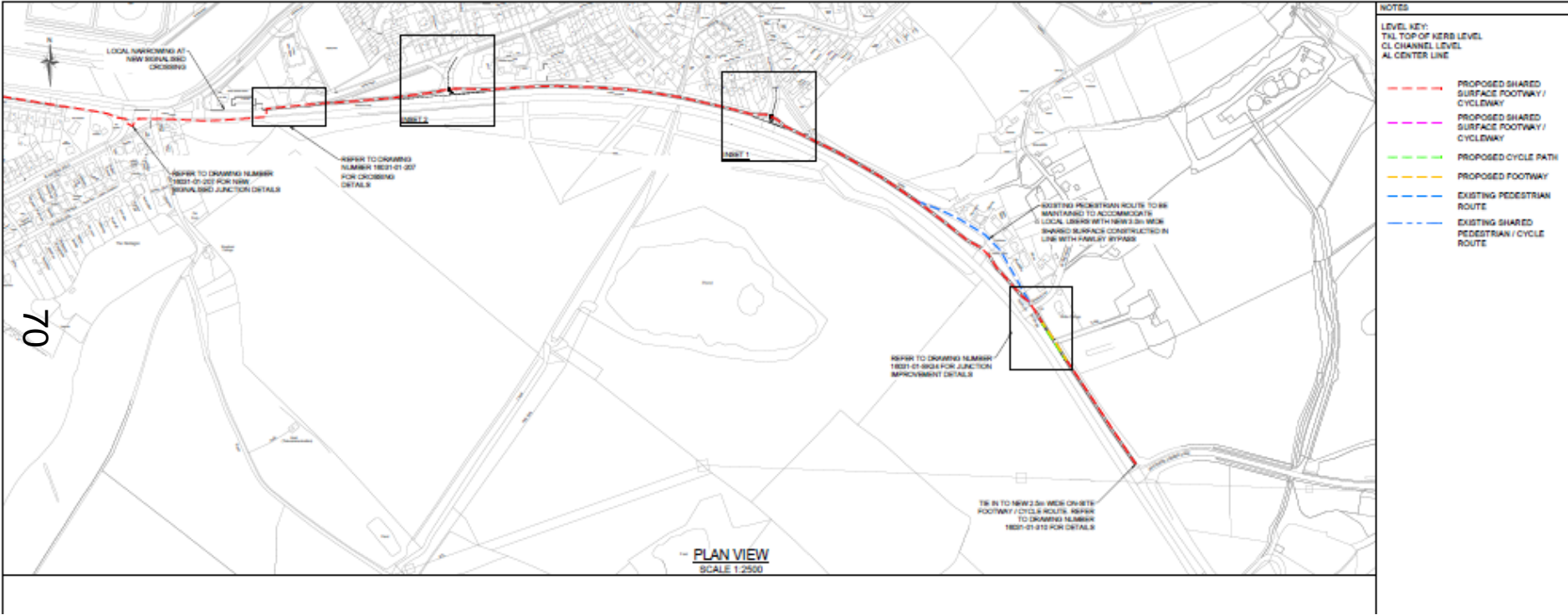
66

Figure 6.3 Junction Assessment Locations







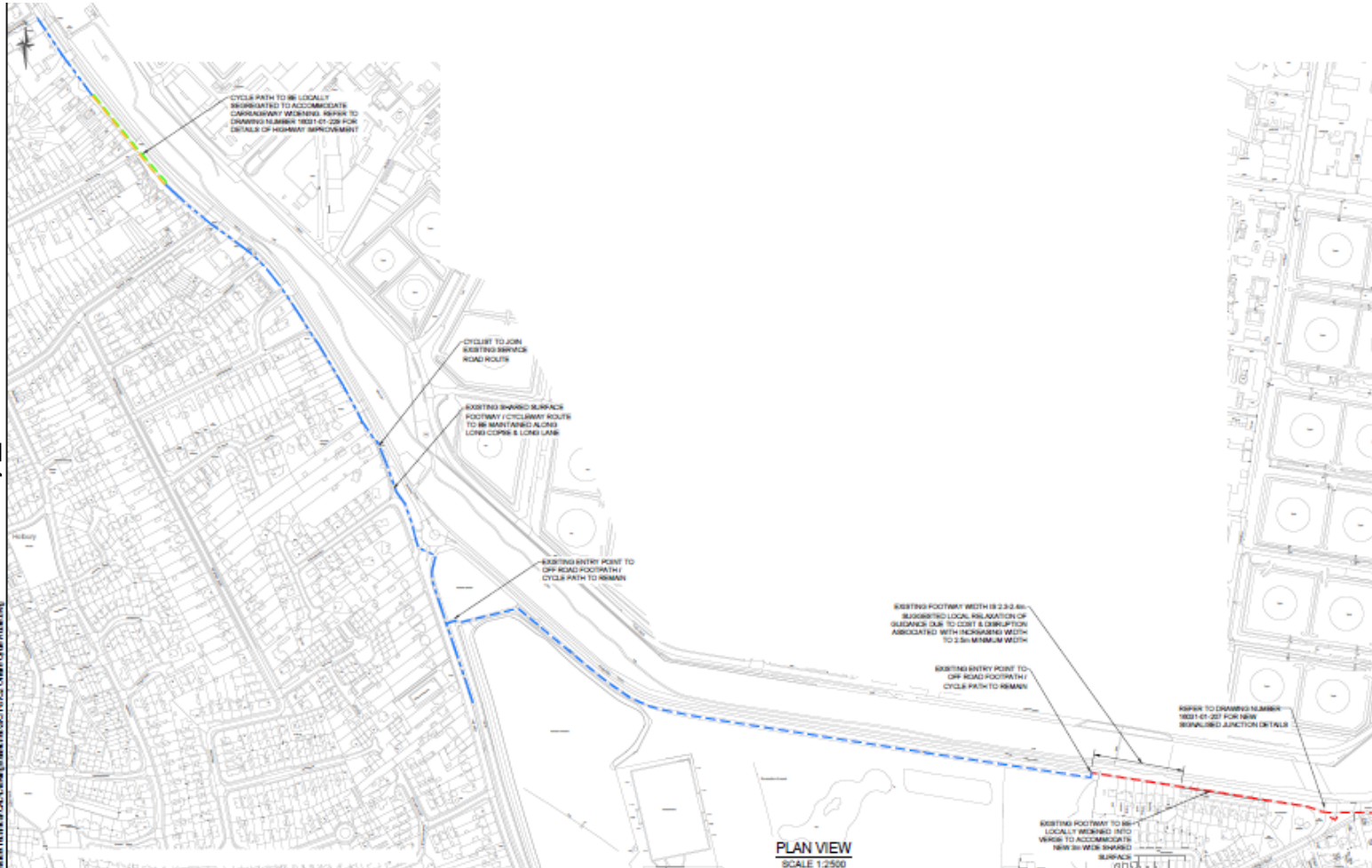


NOTES

LEVEL KEY:
 TL TOP OF KERB LEVEL
 CL CHANNEL LEVEL
 AL CENTER LINE

- PROPOSED SHARED SURFACE FOOTWAY / CYCLEWAY
- PROPOSED SHARED SURFACE FOOTWAY / CYCLEWAY
- PROPOSED CYCLE PATH
- PROPOSED FOOTWAY
- EXISTING PEDESTRIAN ROUTE
- EXISTING SHARED PEDESTRIAN / CYCLE ROUTE

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NOTES

LEVEL KEY:
 THL TOP OF VERG LEVEL
 CL CHANNEL LEVEL
 AL CENTER LINE

- PROPOSED SHARED SURFACE FOOTWAY / CYCLEWAY
- PROPOSED SHARED SURFACE FOOTWAY / CYCLEWAY
- PROPOSED CYCLE PATH
- PROPOSED FOOTWAY
- EXISTING PEDESTRIAN ROUTE
- EXISTING SHARED PEDESTRIAN / CYCLE ROUTE

PRELIMINARY

A	SCALE BAR ADDED	10m	20m	30m	40m	50m
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MARKIDES ASSOCIATES
 10001-01-02B

FAWLEY WATERSIDE

OFFSITE CYCLE ROUTE SHEET 2 OF 2

FAWLEY WATERSIDE LTD

AS SHOWN	06/07/18	DM
DM	LL	AN



M:\Projects\19031-01-Fawley Waterside\19031-01-02B-Offsite Cycle Route.dwg

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Existing Flood Zone Plan

-  NFDC Boundary
-  NFNPA Boundary
-  EA Flood Zone 2
-  EA Flood Zone 3

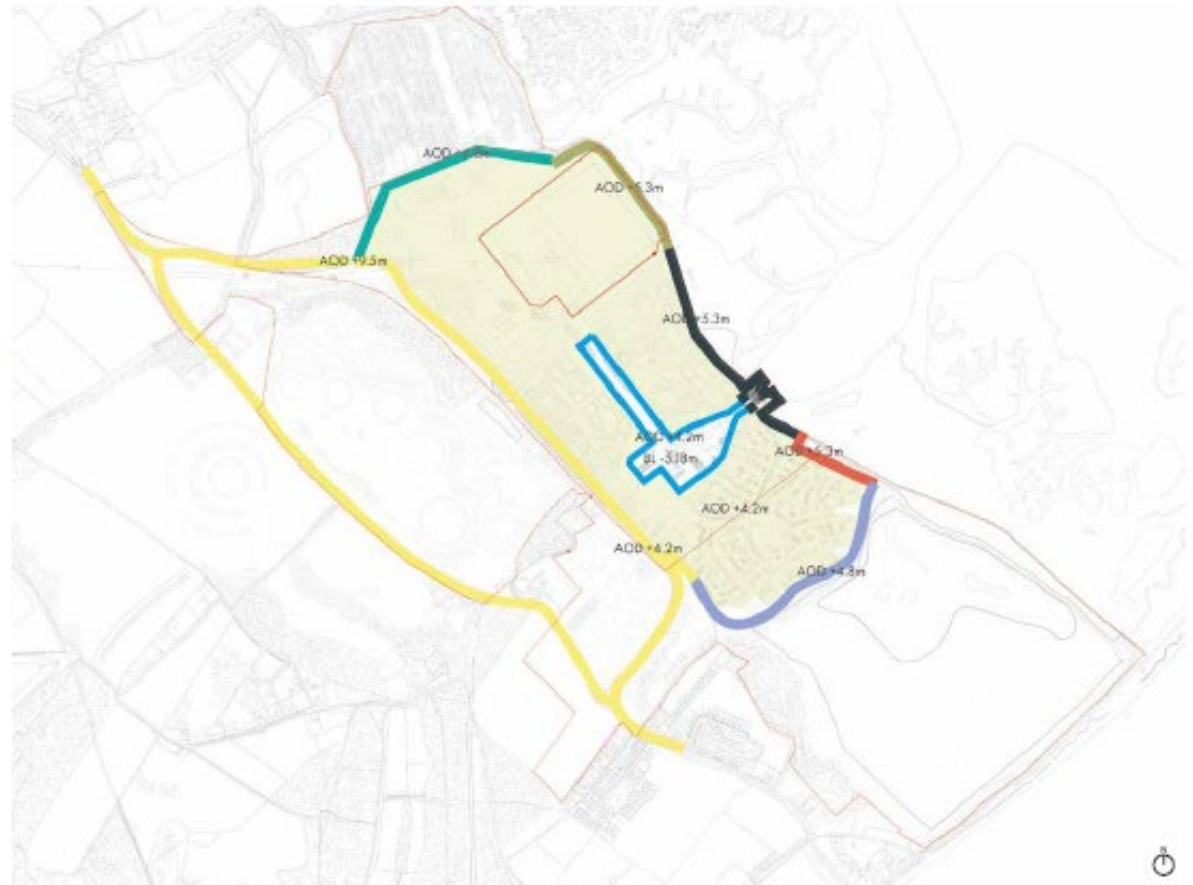


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Flood Defence Strategy Plan

- Combined Application Site Boundary
- T1 - Hard Defence (Northern Edge)
- T2 - Hard Defence (National Grid)
- T3 - Hard Defence (Esplanade)
- T4 - Hard Defence (Dock / Canal)
- T5 - Hard Defence (Southern Quarter Waterside)
- T6 - Soft Defence (Southern Quarter Tom Tiddlers Side)
- Existing Swing Bridge
- Road Network
- Development Platform To Be Raised

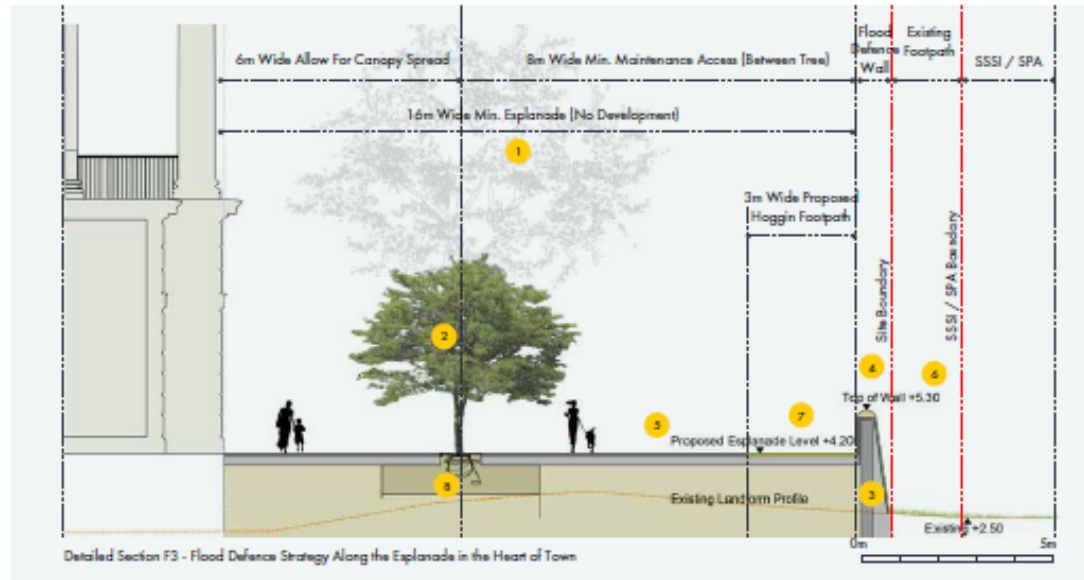


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TYPE 3 - HARD DEFENCE (THE ESPLANADE)

A self-supported slender wall will be implemented along the sea-facing (eastern perimeter) at the Heart of Town along the Esplanade.

- 1 Minimum 16m wide clear maintenance access will be kept along the esplanade, except pinch points where trees can be accommodated; Ghosted tree shown at maturity in the section opposite.
- 2 Wherever trees are proposed, minimum 6m clearance between the building frontage and the centre of the tree will be kept allowing for future growth; The species of the trees will be coastal tolerant, such as Pinus pinaster and Quercus ilex.
- 3 Subject to geotechnical investigations and detailed design, this is likely to be an embedded sheet-pile wall due to expected ground conditions, with stone cladding on both side to reflect the quality of the adjacent architectural response.
- 4 The defensible height of the wall will not be lower than 5.3m AOD.
- 5 Surface paving along the esplanade will be granite sets or cobbles.
- 6 The sea defence will set back from the coast to provide an additional buffer to the areas of Scientific Interest (SSSI) / Special Protection Area (SPA).
- 7 3m wide shared public footpath / cycleway is proposed skirting along the flood defence wall at the esplanade. The surface material will be hoggin, with granite sets for the rest of the esplanade.
- 8 Tree Roots Contained to Avoid Impacting/ Compromising Flood Defence Wall.



Key Plan



Stone Cladding Sea Wall Development Side



Surface Paving Material - Cobbles



Hoggin Public Footpath / Cycleway

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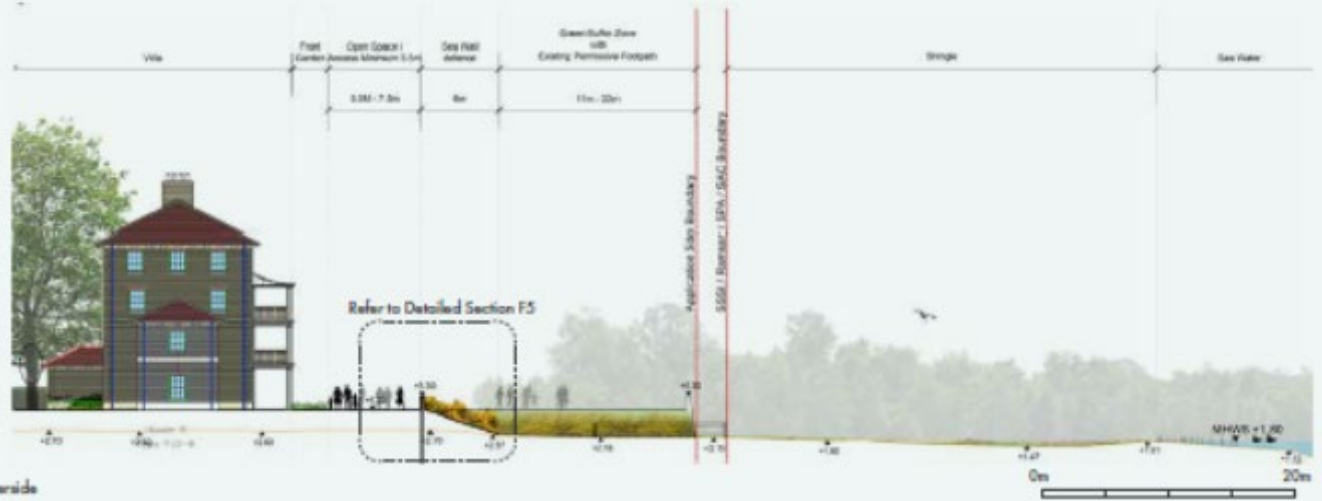
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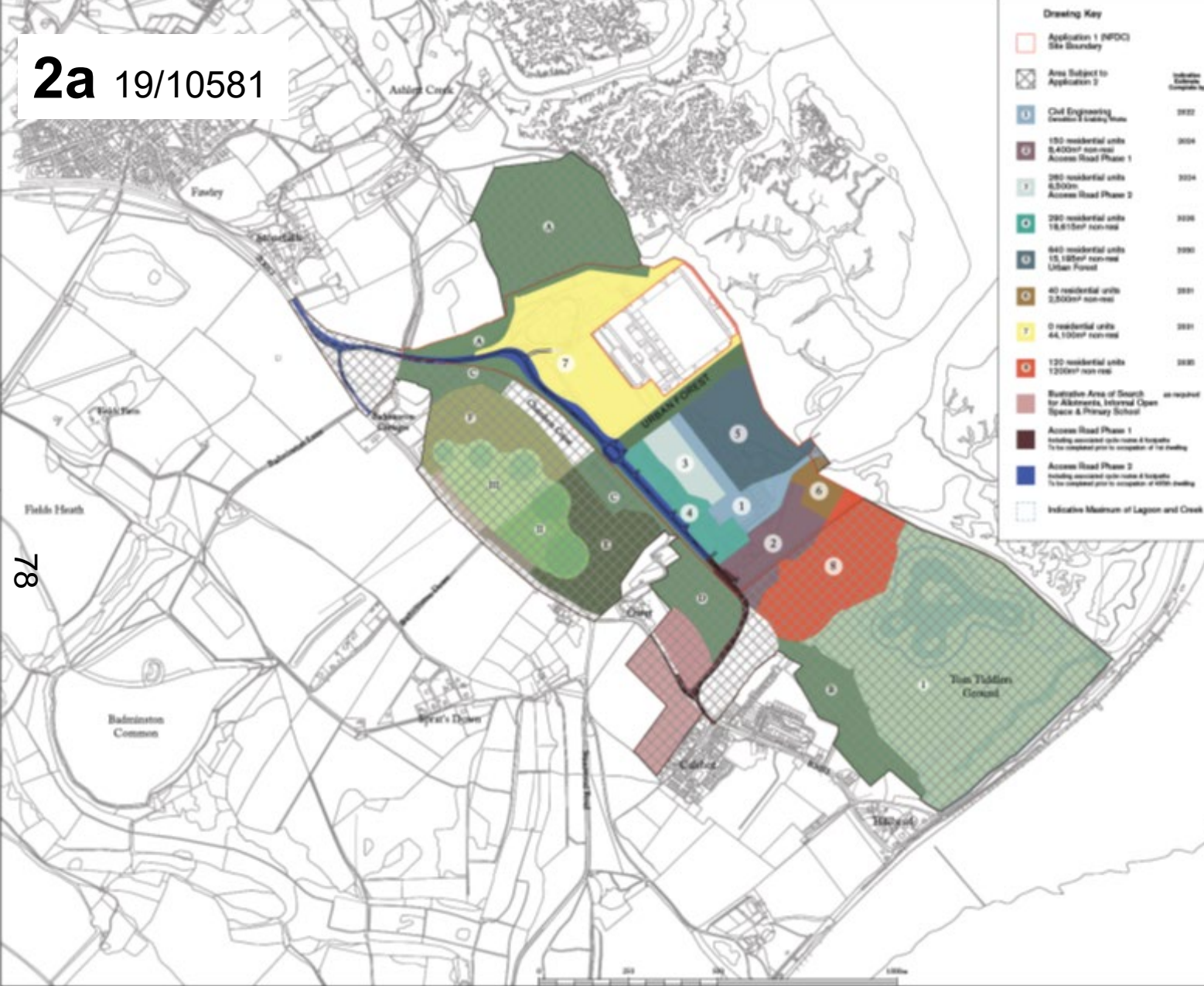




Typical Section - Flood Defence Strategy Along Southern Quarter Waterside



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Drawing Key

[Red outline]	Application 1 (NFD) Site Boundary		
[Cross-hatch]	Area Subject to Application 2	Indicative Estimated Capacity No.	
[Blue U]	Civil Engineering Creation of Linking Roads	3022	
[Purple O]	150 residential units 8,400sqm non-road Access Road Phase 1	3004	
[Light Blue T]	250 residential units 8,500sqm Access Road Phase 2	3004	
[Green O]	250 residential units 18,810sqm non-road	3006	
[Dark Blue U]	840 residential units 15,180sqm non-road Urban Forest	3000	
[Brown O]	40 residential units 2,500sqm non-road	3001	
[Yellow T]	0 residential units 44,100sqm non-road	3001	
[Red O]	120 residential units 12,000sqm non-road	3000	
[Pink]	Evacuation Area of Search for Abitments, Internal Open Space & Primary School	as required	
[Dark Red]	Access Road Phase 1 including associated side-roads & footpaths to be completed prior to occupation of 1st building		
[Blue]	Access Road Phase 2 including associated side-roads & footpaths to be completed prior to occupation of 4th building		
[Dotted]	Indicative Median of Lagoon and Creek		

SANGAs Phasing

[Green O]	Active SANG	Occupancy Approx. 2017
[Green O]	Tom Tiddlers SANG	
[Green O]	Fawley SANG - Link	
[Green O]	Fawley SANG - South	
[Green O]	Nature Conservation Area 1	
[Green O]	Fawley SANG - Central	700 Dwellings Approx. 2018
[Green O]	Nature Conservation Area 2 South	
[Brown]	Driveway South	
[Green O]	Fawley SANG - North	1300 Dwellings Approx. 2018
[Green O]	Nature Conservation Area 2 North	
[Brown]	Driveway North	

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Notes
All Parameter Plans should be read together and with the Development Specification Part A & Plans of Access Plans 10001-01-010 Part A and 10001-01-017 Part A and the Design Code.

1	10001-01-010 Part A and Plans of Access Plans 10001-01-010 Part A and 10001-01-017 Part A	10001-01-010 Part A and Plans of Access Plans 10001-01-010 Part A and 10001-01-017 Part A
2	10001-01-017 Part A	10001-01-017 Part A

Fawley Waterside

Ben Pentreath

11 Long Hill Lane
London, W12 0JF
Tel: 020 881 2222
http://www.benpentreath.com

PROJECT: FAWLEY WATERSIDE

TITLE: APPLICATION 1 (NFD) INDICATIVE PHASING PLAN

DRAWING NO: 102	REV NO: A
SCALE: 1:1000 @ A2 1:2000 @ A3	DRAWN BY: AM
DATE: MAR	CHECKED BY: SP

All dimensions in millimetres unless otherwise stated.
All Rights Reserved © 2015. This is an unapproved initial presentation.

Open Space Provision Plan

- Application Site Boundaries
- Phase 1 - Before Occupancy (24.46ha)
- Phase 2 - Prior to Completion of 700 Units (5.49ha)
- Phase 3 - Prior to Completion of 1300 Units (5.33ha)



HEART OF THE TOWN – CANAL

The canal and dock will be the centre for economic life within Fawley Waterside with a variety of mixed-use buildings proposed.

Buildings designed with 'excellent ordinary' facades will line the canal with landmark buildings proposed at key locations.

Building heights are four to six storeys in accordance with the Parameter Plans.

Colonnades and balconies will be included on buildings throughout.

Simple and robust hard landscape treatment will be utilised to the edge of the canal.

Planting will be against buildings and within squares and courtyards that link through to the canal.



SOUTHERN QUAYSIDE – DOCK

The Southern Quayside fronts onto the dock and abuts the Southern Quarter.

It will provide a mix of residential and commercial accommodation.

The illustrative design for buildings within the Southern Quayside draws inspiration from Victorian dockside and warehouse architecture.

A landmark tower will be located centrally with the Southern Quayside and terminate the vista at the end of the canal.

Simple and robust hard landscape treatment will be utilised to the edge of the dock.

Tree planting is proposed to line the southern edge of the dock.





HEART OF THE TOWN – HIGH STREET

Within the Heart of the Town, smaller streets will form an attractive pedestrian-friendly network. These streets will be lined with shops and offices, terraced houses and apartment buildings that draw character from local towns such as Southampton and Lymington.

Buildings heights will be lower than adjacent to the canal smaller plot widths utilised creating streets with a finer grain.

The street will be less formal with variety introduced through the use of set-backs, balconies, the use of differing doors, window types and architectural enrichment.

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CONNECTING THE VILLAGE TO THE QUAYSIDE

The streets to the north of the Southern Quarter leading to the Southern Quayside will be more urban in character with terraced houses that draw inspiration from Lymington.

The design of the houses will include bay and bow windows, dormers and simple door surrounds.

The footways will be paved with soft yellow brick.

SOUTHERN EDGE

Illustrative view of Fawley Waterside from Tom Tiddlers Ground looking north showing the wider massing and skyline set against the proposed new tree planting within the Southern Quarter.



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PLANNING COMMITTEE – 27 JULY 2020

COMMITTEE UPDATES

Item 2a: Site of Fawley Power Station, Fawley Road, Fawley (Application 19/10581)

9. CONSULTEE COMMENTS

Natural England have submitted further comments in respect of the Appropriate Assessment (AA) of the 2 Local Authorities. Natural England confirm that they concur with the impacts identified within the report as having potential to impact on the integrity of the designated sites and that the AA has provided evidence to address each of the potential impacts. They note that with regards to addressing the recreational impacts on the Solent & Southampton Water Special Protection Area (SPA) from the proposed development that a 75% contribution is proposed to the Solent Recreation Mitigation Partnership scheme, alongside the other mitigation measures outlined in the document. They note that the AA concludes that there would be no adverse impact on integrity to the designated sites. Whilst Natural England have no reason to dispute these findings, they recommend that full payment towards the mitigation scheme would provide the Local Planning Authorities, as the Competent Authority, with a less challengeable approach. They note the overall analysis and, on this basis, have no further comment on this matter provided the authorities are satisfied with the full mitigation package.

In regards to the other potential impacts considered within the assessment, and the measures proposed to mitigate for all identified adverse effects that could potentially occur as a result of the proposal, Natural England advise that they concur with the assessment's conclusions, providing that all mitigation measures are appropriately secured in any planning permission given.

10. REPRESENTATIONS

There have been 3 further letters of objection from local residents, reinforcing concerns that are set out in Section 10 of the main report.

14. RECOMMENDATION

Amend Recommendation

Before planning permission is granted there is a need for a Landowner Agreement to be completed between Hampshire County Council and the applicants in respect of the Marine Management Plan area. As such, the recommendation now should read:

Delegated Authority be given to the Chief Planning Officer to **GRANT PERMISSION** subject to:

- i) The National Park Authority also resolving to approve their application 19/00365;

- ii) The completion of a planning obligation entered into by way of a Section 106 Agreement to secure those matters set out in Section 12 of the report;
- iii) The completion of a Landowner Agreement between Hampshire County Council and the applicants in respect of the Marine Management Plan Area;
- iv) The imposition of the conditions set out below, and any additional / amended condition deemed necessary by the Chief Planning Officer as a result of continuing Section 106 discussions.

Amend conditions as follows

For Condition 69, there has been an amendment to the Development Specification reference, so the condition should now read:

Condition 69 - Approved Plans

The development permitted shall be carried out in accordance with the following approved plans and particulars:

Parameter Plans

- 1/01 rev A – Application Site boundary and ownership boundary
- 1/02 rev A – Demolition and Retention
- 1/03 rev A – Character Areas
- 1/04 rev A – Green Infrastructure, open space and SANGs
- 1/05 rev A – Access and Movement
- 1/06 rev A – Land Use Ground Floor
- 1/07 rev A – Land Use first floor and above
- 1/08 rev A – Proposed development plots and ground levels
- 1A/08 rev A – Proposed development plots Northern Quarter
- 1B/08 rev A – Proposed development plots Heart of Town
- 1C/08 rev A – Proposed development plots Southern Quarter
- 1/09 rev A – Maximum Building Heights Plan
- 1A/09 rev A – Maximum Building Heights Plan Northern Quarter
- 1B/09 rev A – Maximum Building Heights Plan Heart of Town
- 1C/09 rev A – Maximum Building Heights Plan Southern Quarter
- 1/10 rev A – Underground Development
- 1/11 rev A – Existing and Proposed Trees

Means of Access Plans

- 16031-MA-AC-XX-SK-C-0001 – Location Plan rev P02
- 16031-MA-AC-XX-SK-C-0002 – Highway Land Plan P02
- 16031-MA-AC-XX-SK-C-0100 – General Arrangement Plan 1 of 7 rev P03
- 16031-MA-AC-XX-SK-C-0101 - General Arrangement Plan 2 of 7 rev P03
- 16031-MA-AC-XX-SK-C-0102 - General Arrangement Plan 3 of 7 rev P03
- 16031-MA-AC-XX-SK-C-0103 - General Arrangement Plan 4 of 7 rev P03
- 16031-MA-AC-XX-SK-C-0104 - General Arrangement Plan 5 of 7 rev P03
- 16031-MA-AC-XX-SK-C-0105 - General Arrangement Plan 6 of 7 rev P03
- 16031-MA-AC-XX-SK-C-0106 - General Arrangement Plan 7 of 7 rev P03
- 16031-MA-AC-XX-SK-C – Swept Path Analysis Northern Access Junction Rev P02
- 16031-MA-AC-XX-SK-C-0111 - Swept Path Analysis Northern Quarter Access Autotrack Analysis Rev P02
- 16031-MA-AC-XX-SK-C-0112 - Swept Path Analysis Northern Quarter Access (2-way flow) Rev P02
- 16031-MA-AC-XX-SK-C-0113 - Swept Path Analysis Western Road Halfway Road Rev P02

16031-MA-AC-XX-SK-C-0114 - Swept Path Analysis Car Park 1 & 2 (Sheet 1 of 2) Rev P02
16031-MA-AC-XX-SK-C-0115 - Swept Path Analysis Car Park 1 & 2 (Sheet 2 of 2) Rev P02
16031-MA-AC-XX-SK-C-0116 - Swept Path Analysis Service Access, Surface Car Park & Southern Quarter (Sheet 1 of 2) rev P02
16031-MA-AC-XX-SK-C-0117 - Swept Path Analysis Service Access, Surface Car Park & Southern Quarter (Sheet 2 of 2) rev P02
16031-MA-AC-XX-SK-C-0118 - Swept Path Analysis Southern Quarter Access rev P02
16031-MA-AC-XX-SK-C-0119 - Swept Path Analysis Service Access 16.5m Articulated Vehicle rev P02
16031-MA-AC-XX-SK-C-0150 – B3053 South Indicative Traffic Calming Locations rev P01
16031-MA-AC-XX-SK-C-0500 – Drainage Strategy 1 of 7 rev P02
16031-MA-AC-XX-SK-C-0501 - Drainage Strategy 2 of 7 rev P02
16031-MA-AC-XX-SK-C-0502 - Drainage Strategy 3 of 7 rev P02
16031-MA-AC-XX-SK-C-0503 - Drainage Strategy 4 of 7 rev P02
16031-MA-AC-XX-SK-C-0504 - Drainage Strategy 5 of 7 rev P02
16031-MA-AC-XX-SK-C-0505 - Drainage Strategy 6 of 7 rev P02
16031-MA-AC-XX-SK-C-0506 - Drainage Strategy 7 of 7 rev P02
16031-MA-AC-XX-SK-C-0600 – Earthworks rev P02
16031-MA-AC-XX-SK-C-2600 – Highway Longsections 1 of 3 P02
16031-MA-AC-XX-SK-C-2601 - Highway Longsections 2 of 3 P02
16031-MA-AC-XX-SK-C-2602 - Highway Longsections 3 of 3 P02
16031-MA-AC-XX-SK-C-2610 – Typical Cross Sections 1 of 3 P02
16031-MA-AC-XX-SK-C-2611 - Typical Cross Sections 2 of 3 P02
16031-MA-AC-XX-SK-C-2612 - Typical Cross Sections 3 of 3 P02
16031-MA-AC-XX-SK-C-4050 – Proposed Materials Location Plan P02
16031-MA-AC-XX-SK-C-4051 – Proposed Materials Construction Details (1 of 2) rev P02
16031-MA-AC-XX-SK-C-4052 - Proposed Materials Construction Details (2 of 2) rev P02

Application Documents

Revised Development Specification (Deloitte - July 2020)
Fawley Waterside Design Code Version 1 – April 2020 (Ben Pentreath)

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